

Leadville Historic Preservation Commission Regular Meeting Agenda

Date: 03-22-22 Time: 4:00pm

Location:

City Hall 800 Harrison Ave.
Leadville, CO 80461

(Held In-person AND via Zoom)

Topic: 03-22--2022 HPC Meeting

Time: Mar 22, 2022 04:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://leadville-co-gov.zoom.us/j/87965605407?pwd=a0FWZHdlcUI0aWtqcTN2UEExQamdUQT09>

Meeting ID: 879 6560 5407

Passcode: 80461

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 879 6560 5407

Time	Topics & Discussion	Anticipated Action	Discussion Lead
1 min	Call to Order		Chair
4 mins 4 mins	Governance Items: <ul style="list-style-type: none">• Roll Call• Approval of Agenda/Revisions• Approval of 03-08-2022 minutes• Public Comment - Items Not on Agenda• Housekeeping Items – Nan Anderson offer	Motion of approval of agenda and minutes	Chair, Staff
75 min 15 mins	New Business: <ul style="list-style-type: none">• Introduction – Dr. Lindsey Flewelling, CLG Coordinator, History Colorado	*Items for formal vote	Staff, Commission Members
10 mins	• Ned Warner Ideas		
30 mins	• *139 E 9 th St Rehabilitation COA		
20 mins	• Recap – Dan Corson Presentation		
1 min	Adjourn		Chair, Staff

Notes: April 12, 2022 – possible COA for Parklet at Visitor's Center

**Tuesday, March 08, 2022- 4:00pm
Leadville Historic Preservation Commission
Regular Meeting Minutes
City Hall and via Zoom**

**Attendance: Chair Marcia Martinek, Commissioners Scott Spillman, Stephen
Whittington, Joey Edwards & Mick Lindquist
Alternate Members – Curt Fladager & Nancy Bailey - Present
City of Leadville Mayor – Greg Labbe - Present**

City of Leadville Administrative Assistant – Lori Tye - Present

Call to Order: 4:00 pm

Roll Call

Governance Items

Consent agenda (changes to agenda): NONE

February 22, 2022 minutes: Whittington moved to approve, Spillman
seconded, unanimously APPROVED

Discussion Items

Public Comments – NONE

New Business

- 1) Dan Corson Presentation –**
- 2) Ned Warner Ideas for HPC Logo – Ned was not present**

HPC Updates / Action Items / Housekeeping Matters

Mark Miller was present and agreed to be an HPC Advisory Member

Motion to Adjourn: Adjourned 5:38 pm

Regular Meetings: Twice a month for spring/summer season

Next Meeting: March 22, 2022

Great to hear from you, we were hoping you might stop by during the meeting yesterday. It was fantastic!! The commissioners were very excited about how much they learned, and the resources he shared with them. What a delightful man!! On top of having such a wealth of knowledge, he is a very nice man! He answered questions, was very personable & interactive, it was a great presentation! Thank you again, for making the introduction and connecting us!!

[Quoted text hidden]

--

Respectfully,
Lori Tye

Nan Anderson <nan@freightleadville.com>
To: Lori Tye <adminassistant@leadville-co.gov>

Wed, Mar 9, 2022 at 1:45 PM

Glad to hear it!

[Quoted text hidden]

--

[Quoted text hidden]

Nan Anderson <nan@freightleadville.com>
To: Lori Tye <adminassistant@leadville-co.gov>

Thu, Mar 10, 2022 at 6:43 AM

Hi Lori,

Dan said he hopes you stay in your current position because he thinks you have great enthusiasm for preservation and that you're a quick study.

He also mentioned that the HPC didn't seem familiar with the Secretary of the Interior's Standards on the Rehabilitation of Historic Buildings (the standards that guide NHLs and really any building on the state, national or local registers). I'd be glad to give an overview of them sometime and could, at the same time, provide a high level overview of the state and federal rehabilitation tax credits, if you'd like. Absolutely no pressure, though! And I certainly don't want to hold myself out as THE expert - just someone who's dealt with the standards, most of my career and someone who has personal experience with the tax credits. It's all about preserving Leadville!

Thanks,
Nan

On Wed, Mar 9, 2022 at 1:07 PM Lori Tye <adminassistant@leadville-co.gov> wrote:
[Quoted text hidden]

--



History Colorado

Certified Local Government (CLG) Quadrennial Evaluation Information

The National Park Service requires that each Certified Local Government (CLG) be evaluated at least once every four years according to the process outlined in Section V of the [Colorado CLG Handbook](#). This evaluation is performed to ensure that the CLG is fulfilling its responsibilities and to identify areas where Office of Archaeology & Historic Preservation (OAHP) assistance may be helpful. If you have any questions about the evaluation process please contact Lindsey Flewelling, CLG Coordinator, at lindsey.flewelling@state.co.us or 303 866 4681.

Elements of the Evaluation

The quadrennial evaluation comprises four parts that may be completed in any order:

1. OAHP staff review records on file at History Colorado for the previous four years including annual reports, meeting minutes, grant administration forms, and other relevant documents.
2. CLG staff demonstrate how they provide public access to the local public records that CLGs are required to maintain.
3. OAHP staff attends one or more meetings of the CLG's Historic Preservation Commission (HPC).
4. OAHP staff interviews CLG staff about the community's procedures for performing CLG-related tasks and responsibilities.

Preparing for the Evaluation

CLGs should begin preparing for evaluation by reviewing the [Evaluation Form](#) and the [CLG Handbook](#). OAHP staff will schedule a time to meet with CLG staff and attend an HPC meeting during the calendar year, but may attend any additional HPC meeting(s) at their discretion. CLGs are encouraged to use this opportunity to request any desired training. In addition to regularly submitting annual reports and meeting minutes to OAHP, there are other ways that CLGs can prepare to ensure the evaluation process goes smoothly.

CLGs will be expected to demonstrate how a member of the public can access the following types of documents. If these documents are available on the CLG's website, CLG staff can facilitate this review by providing the appropriate links to OAHP.

- HPC Meeting Minutes
- Resumes or applications for current HPC members
- Survey forms and reports
- List of all locally designated properties



History Colorado

CLG staff should be prepared to answer the following questions during their interview with OAHP staff. Additional questions may be asked based on the review of previous CLG records and past CLG performance.

- How is the public informed of upcoming meetings of the HPC?
- How is the public informed of designation or design review applications?
- How are property owners and the HPC notified that a project must undergo design review? How is design review conducted?
- If the HPC does not contain 40% professional members, how do you obtain the required expertise in local design review?
- What is the CLG's system for survey and inventory of historic properties? What are the CLG's plans for future survey?
- How does the CLG participate in the Section 106 process?
- How has the CLG implemented its Historic Preservation Plan? If the CLG does not have a plan, how does it plan for ongoing and future preservation efforts?

After the Evaluation

OAHP staff will complete a written [Evaluation Form](#) for each CLG that summarizes their findings and includes any recommended actions. This form may not be submitted until the end of the calendar year in which the CLG is evaluated. If OAHP staff finds that the CLG is deficient in fulfilling its responsibilities, one of the following will be required:

- The CLG will be expected to correct these deficiencies before their next quadrennial evaluation.
- The CLG will be expected to correct these deficiencies within one year and will be evaluated again in the next calendar year to confirm that action has been taken.
- The CLG will be expected to take immediate action to correct these deficiencies and will receive a specific timeline in which to comply. If necessary, the CLG's chief elected official may receive a letter that summarizes the identified deficiencies, the assistance that will be provided, and a specified timeline for compliance.



Lori Tye <adminassistant@leadville-co.gov>

Historic Preservation Commission Logo Drafts

1 message

Ned Warner <ned@junacreativeworks.com>

Wed, Mar 16, 2022 at 10:33 AM

To: Destinee Lukianoff <adminassistant@leadville-co.gov>

Hi Lori,

Three drafts for the Historic Preservation Commission logo are attached for your review. While I understand that these designs do not yet use historical color palette colors, or feature local buildings, I feel that they may provide a strong springboard for discussion.

I enjoy the concept of a lantern in particular, as it may encourage viewers to think of the HPC as a group that is simultaneously rooted in our past while lighting the way for the future.

I am planning a few more logo designs that are a bit more conservative, for contrast, and to give you a diverse array of options and directions.

It would be helpful to have access to the HEX numbers for the historic palette colors so may recolor these designs with accuracy and precision.

It is my hope that my initial designs may spark excitement for the future HPC logo and branding.

Best,
Ned

Ned Warner
Creative Lead
Juna Creativeworks

6463352150

ned@junacreativeworks.com

junacreativeworks.com

Leadville, CO

3 attachments



HPC-Logo-Draft-001.png
107K



HPC-Logo-Draft-002.png
110K



HPC-Logo-Draft-003.png
209K

CITY OF LEADVILLE

76454

VENDOR: 1122 JUNA CREATIVEWORKS

3/02/2022

INVOICE #	INV DATE	DESCRIPTION	INV AMOUNT
260338-000072 1	3/02/2022	50% Payment for Logo Design	600.00

TOTAL AMOUNT 600.00

CITY OF LEADVILLE

GENERAL FUND
800 HARRISON AVE
LEADVILLE, COLORADO 80461



Community Banks
of Colorado
A Division of NBT Bank, Member FDIC
877.877.0395 cobnks.com
82-201/1021

76454

DATE
March 02, 2022

AMOUNT

\$

600.00

PAY
TO THE
ORDER
OF:

Six Hundred and 00/100 Dollars

JUNA CREATIVEWORKS
850 ASH STREET
LEADVILLE CO 80461



NOT VALID AFTER 90 DAYS
Greg L. Loe
AUTHORIZED SIGNATURE

Security features. Details on back.

⑈076454⑈ ⑆102102013⑆ 001804⑈

CITY OF LEADVILLE

76454

VENDOR: 1122 JUNA CREATIVEWORKS

3/02/2022

INVOICE #	INV DATE	DESCRIPTION	INV AMOUNT	GL Number
260338-000072 1	3/02/2022	50% Payment for Logo Design	600.00	01-40-6-6526

TOTAL AMOUNT 600.00



**HISTORIC
PRESERVATION
COMMISSION**



**HISTORIC
PRESERVATION
COMMISSION**



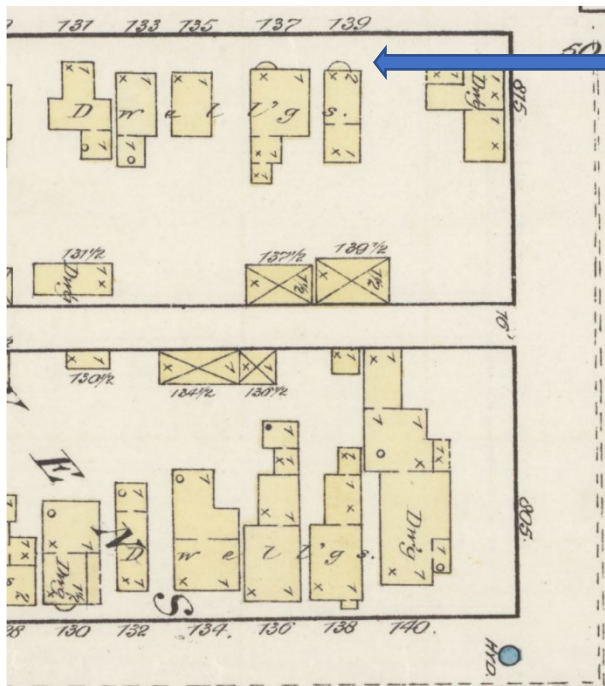
HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Date: March 22nd, 2022
 To: Historic Preservation Commission
 From: Lori Tye, Administrative Assistant
 Subject: 139 East 9th Street Rehabilitation/Renovation in National Historic Landmark District
 Leaseholder: Ian Munoz
 Property Owner: Ian Andrew Munoz & Sophie Olympia Riese (JT)

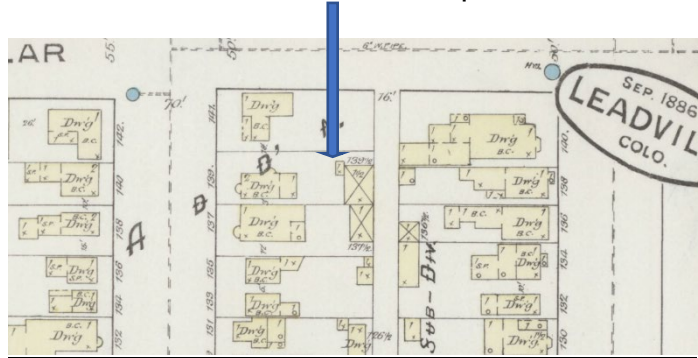
Project Summary:

Property owner/applicant is seeking Rehabilitation of this late 1800s existing building. Repairs and modifications are desired to fully utilize the home personally and as a vacation rental. The intent of this project is to ensure structural stability, consolidate utilities, provide accessibility throughout the first floor, and overall improving usability of the property.



Historical Background:

Per Lake County Assessor's office, this building was built in 1888. However, 1883 City of Leadville Sanborn map shows the structure at 139 E 9th St as a 2-story in front, 1-story at rear, frame dwelling with shingle roof & mud sill foundation and a 1 ½ story back stable structure with shingle roof. Per assessor's office, the garage was built in 1900, but shows on the 1886 Sanborn map.



Project Description:

The applicant is requesting approval of a Certificate of Appropriateness (COA) as they seek rehabilitation and reconstruction as follows:

- Remove all of the one-story additions to the home, due to deteriorated structural integrity
- Shore the rectangular historic two-story building.
- Lift the building
- Install a new foundation below (insulated concrete form foundation)
- Set the building down on its new foundation
- Rehabilitate the building (installing new structural sistering and replacing deteriorated elements in kind).
- Construct a new addition to the east and south, subordinating it to the main façade.
- Reconstruct the front vestibule (removed due to lack of structural integrity).

Criteria for Reviewing Entity Decision:

Per the City Municipal Code, there are 17 criteria that must be met for a project to receive an approved Certificate of Appropriateness. The historic preservation commission and city council should consider if the proposed rehabilitation/renovation satisfies each of the 17 criteria, as referenced below:

1) Fits with Leadville Comprehensive Plan

- The Historic Downtown Core of Leadville is one of the city's greatest assets. These buildings and the compact development pattern tell a story of where Leadville and its people came from, and the preservation of this precious resource is an important economic development goal.
- *Tourism Marketing* – Tourism It is an important industry by itself, but it also attracts people to the area, some of whom eventually become permanent residents and business owners. Tourism helps the economy by bringing outside money into Leadville and Lake County.
- *Downtown Support and Revitalization* – Provide support and resources to ensure the preservation and maintenance of historic structures and landmarks in the downtown core.
- *Future Land Use Plan* - The following approach guided the development of the Future Land Use Plan:
 - a) Re-establishing the vitality of the historic commercial and mixed-use block east and west of Harrison Avenue.
 - b) Enhancing downtown Leadville as the historic and pedestrian-oriented heart of the community and the economic engine for the city and creating an environment where people can live downtown and add to its vitality.
 - b) Building on the neighborhood character, efficiency, convenience and pedestrian/bike friendliness offered by the historic streets and alleys grid.

2) Character, interest and value of structure as part of the development, heritage, history and culture of the city and state

- National Historic Landmark District – YES
- Listed in the Leadville Historical Building Inventory – NO
- Address is listed in the 1880 Leadville Directory

3) Location of structure and relationship to historic events

- None Known

4) Identification of structure with historically significant persons

- None Known

5) Importance to cultural, historical, social and economic heritage

- None Known

6) Visual features typical of or unique to historic period of relevance

- The visual features of the building are typical of the brick buildings of the late 1800s.

7) Relationship to surrounding structures or other features of importance

- None Known

8) Minimal alteration and redesign to fit use

- The structure has undergone many additions since originally built, but has always been a residence. The original structure is still present and will remain. Use remains the same, a residence/vacation rental.

9) Original characteristics shall not be destroyed, nor shall historic material or architectural features be removed or altered when possible

- No historic material will be destroyed and any removed will be used in reconstruction.

10) The significance of architectural changes since original construction shall also be recognized and respected

- There have been no significant architectural changes to the original building, however there have been several additions. This project will return it to its original home construction.

11) Distinctive stylistic features or skilled craftsmanship shall be treated with sensitivity and preserved whenever possible

- Historic preservation guidelines will be taken into consideration to maintain the building's integrity by rehabilitating, repairing and renovating all features as much as possible.

12) Deteriorated architectural features shall be repaired rather than replaced whenever possible, and, if they must be replaced, new materials shall match replaced material in composition, color, texture and shape.

- All deteriorated features will be updated and repaired and, if replacement is needed, will be replaced with matching materials.

13) Cleaning and restoring surfaces should be done with least disruptive methods; sandblasting and other techniques that damage surfaces is highly discouraged

- No plans for cleaning surfaces, but no disruptive methods will be used.

14) Additions and alterations should be done in such a way as to ensure the essential form and integrity of the original structure would be undamaged

- Addition to be to the East & South, set back from the main structure.

15) Structures shall be recognized as products of their own time and place; alterations with no historical basis that seek to artificially create an earlier appearance are discouraged

- Not applicable to this project.

16) Contemporary style structures, alterations and additions shall not be discouraged so long as they are compatible with the size, scale, texture and color of the existing structure and/or existing structures in the area

- The project proposal fits more in with the size, scale and neighboring properties than currently exists.

17) The unique historical and visual appearance of Leadville, as it exists in the present, shall be honored and protected in so far as possible

- Returning the structure, as much as possible, to the original footprint from 1880 both honors and protects the historical and visual appearance of Leadville.

Summary:

The applicant is requesting the approval of a COA, they will be removing the non-historical additions from the original home construction. This will ease the very narrow side setbacks, as well as take the structure back to the original rectangular building centered on the lot.

Staff Recommendation:

Staff recommends that the HPC review the Certificate of Appropriateness for Rehabilitation and Renovation at 139 East 9th Street thoroughly. This is a highly visible historic home on Highway 24, just one block east of Harrison. Appropriate renovation is necessary and welcome, while restoring the historic buildings close Harrison.

A sample motion for APPROVAL for the Certificate of Appropriateness application is:

I move to approve the Certificate of Appropriateness for Front Façade Renovation at 139 East 9th Steet based on the criteria set forth in the related COA application materials and staff report dated March 22nd, 2022, the City of Leadville's municipal code, Section 17. 44.070



THE CITY OF LEADVILLE

CERTIFICATE OF APPROPRIATNESS APPLICATION FORM

Application File No. _____

1) ACTION REQUESTED

Insubstantial Modification ☐

Substantial Modification ☒

2) APPLICANT STATUS

Date of Application: 3/4/2022

Received by: Lori Tye Admin Assist

Application Fees Required: \$125.00 for Substantial Modification \$0 for Insubstantial Modification

Date Fee Paid: 3/4/2022 Recpt # 10.000106

Date(s) App. Acted On: Action Taken:

3) APPLICANT AND OWNER INFORMATION

Name of Applicant: Ian A. Munoz

Property Address: 139 East 9th St, Leadville, CO 80461

Mailing Address of Applicant if other than property address: _____
100 Vanderbilt Ave, Brooklyn, NY 11205

Telephone: 9706312927

Land Owner*: _____

Address: _____

Telephone: _____

- List Landowner(s) individually if other than applicant

4) APPLICATION MATERIAL SUBMISSIONS (Items to be included with this application):

- Photographs:** All applications shall be accompanied by photographs reasonably and accurately depicting the current status of the building, structure or site, or that portion thereof, subject to the application.
- Dimensioned Site Plan:** Site plan showing street locations, existing structure and proposed new elements or structures.
- Dimensioned Floor Plan (s):** Floor plans showing existing structures and proposed new elements or structures.
- Dimensioned Roof Plan:** Roof plan showing proposed new roof elements in context of the existing roof.
- Dimensioned Exterior Elevations:** Exterior elevations showing appearance of proposed project with all materials and indicating finishes.
- Building Sections and Construction Details:** Sections and details as required adequately explaining and clarifying the project. Note all materials and finishes.

- g. **Specification of Materials:** Manufacturer's product literature and material samples. Product literature is required for replacement windows.
- h. **Bids:** If proposing to replace existing historic materials or features with replicas rather than repair or restore, firm bids must be provided for both restoration and replication.
- i. **Window Replacement:** If proposing to replace historic windows (aside from wooden replica sash replacement) justification shall be provided as outlined in National Park Service Preservation Brief #9. Submittal must include written assessment of condition of existing windows.
- j. **New Construction** shall include the following information:
 - I. **Block Site Plan.** A site plan or aerial photograph showing relationship of proposed structure to existing structures.
 - II. **Written Statement.** A written statement of the design philosophy and building program.
 - III. **Massing Model.** A massing model illustrating the relationship between the new structure(s) and existing building(s) on the project site and adjacent lots.
 - IV. **Photographs.** Photographs of the surrounding structures including both block faces and side streets.
- k. **Demolition or relocation** of a building, structure or site shall include the following:
 - I. A detailed description of the reasons supporting or justifying the proposed demolition or relocation, including a delineation and explanation of all economic data where economic hardship or other economic cause is given as a reason for the proposed demolition or relocation.
 - II. A detailed development or redevelopment plan for the demolition and/or receiving relocation site and a schedule for completion of the work.
 - III. Elevations, building sections, construction details, specifications and massing model of proposed replacement structure similar to those required for new construction.
 - IV. For landmark or contributing structures the applicant must submit a report prepared by an architect, appraiser, engineer or other qualified person experienced in the rehabilitation, renovation and/or restoration of historic buildings, structures or sites addressing:
 - 1. The structural soundness of the building, structure or site and its suitability for rehabilitation, renovation, restoration or relocation.
 - 2. The economic and structural/engineering feasibility of the rehabilitation, renovation and/or restoration of the building, structure or site at its current location.
 - 3. The economic and structural/engineering feasibility of relocating the building, structure or site.

Additional Pertinent Information: _____

5) CERTIFICATION BY THE APPLICANT

I hereby state that this application is made with full knowledge of the design standards, procedures, disclaimers (see especially Titles 17.44 and 17.52) and other provisions of the Leadville Zoning Ordinance/Municipal Code pertaining to this application:

Signature of Applicant: Ian D. Munoz Date: 3/4/2022

6) FINAL ACTION

☐ Approved ☐ Conditionally Approved or ☐ Denied by the authorized Leadville permitting authority:

Name: _____ Signature: _____
Title: _____ Date: _____

* Special Conditions of Approval: (List Separately)

Certificate Of Completion

Envelope Id: 9D55FF60FB7A415297FA35FC2712590B

Subject: COA - 139 E 9th St - Munoz/Riese.pdf - 2022-03-04-11:25.pdf

Source Envelope:

Document Pages: 2

Certificate Pages: 1

AutoNav: Enabled

EnvelopeId Stamping: Disabled

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Status: Completed

Envelope Originator:

Ian A. Munoz

iam@ianmunoz.com

IP Address: 64.207.219.72

Record Tracking

Status: Original

3/4/2022 12:18:02 PM

Holder: Ian A. Munoz

iam@ianmunoz.com

Location: DocuSign

Signer Events

Ian A. Munoz

iam@ianmunoz.com

Digital Services Expert

Security Level: Email, Account Authentication
(None)**Signature***Ian A. Munoz*

Signature Adoption: Pre-selected Style

Using IP Address: 108.54.152.101

Timestamp

Sent: 3/4/2022 12:18:02 PM

Viewed: 3/4/2022 12:18:08 PM

Signed: 3/4/2022 12:35:13 PM

Freeform Signing

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

In Person Signer Events**Signature****Timestamp****Editor Delivery Events****Status****Timestamp****Agent Delivery Events****Status****Timestamp****Intermediary Delivery Events****Status****Timestamp****Certified Delivery Events****Status****Timestamp****Carbon Copy Events****Status****Timestamp****Witness Events****Signature****Timestamp****Notary Events****Signature****Timestamp****Envelope Summary Events****Status****Timestamps**

Envelope Sent

Hashed/Encrypted

3/4/2022 12:18:03 PM

Certified Delivered

Security Checked

3/4/2022 12:18:08 PM

Signing Complete

Security Checked

3/4/2022 12:35:13 PM

Completed

Security Checked

3/4/2022 12:35:13 PM

Payment Events**Status****Timestamps**



Munoz - Riese Residence Assessment
139 East 9th Street
Leadville, Colorado

April 30, 2021

Form+Works Project No. 21-008

form + works
design group, LLC

Ian Munoz & Sophie Riese
139 E. 9th Street
Leadville, Colorado
970-631-2927
iam@ianmunoz.com
Architect's Project Number: 21-008

Property: Munoz – Riese Residence 139 E. 9th Street, Leadville, CO 80461

Project History:

Our team was asked to prepare an assessment and provide a list of recommendations associated with the rehabilitation of the Munoz – Riese Residence. Natalie Lord and Krista Schiff (Form+Works Design Group) and Ian Glaser (JVA Structural) visited the site on March 29, 2021 to conduct a visual architectural and structural condition assessment. Accessible areas of the building were reviewed and the following report documents existing conditions and associated recommendations. It should be noted that no destructive investigation was completed during this assessment, therefore observations are limited to visual inspection.

Applicable Codes for Leadville:

2012 International Building Code
2012 International Residential Code
2012 International Mechanical Code
2012 International Plumbing Code
2012 International Fuel Gas Code
2012 International Existing Building Code
2014 National Electric Code
2012 International Fire Code
2006 International Energy Conservation Code

Basic wind speed = 90mph

Seismic Zone C

Building Use:

The building is currently occupied part-time by the Owners as a vacation home. Repairs and modifications to the building are desired to fully utilize the home personally and as a vacation rental. The Owners' goals for the home include ensuring structural stability, consolidated utilities that are easy to use / maintain, providing accessibility throughout the first floor, evaluate options for expanding the building to the south including a second-floor space that captures views of the mountains, increase light throughout the home, and overall improving usability of the property as a vacation rental. Preliminary discussions between the Owners and Architect discussed reconfiguration of the south portion of the home to align the west exterior wall with the historic portion of the home and eliminate the ice / drainage issues currently experienced between the home and the neighboring property. The Owners noted that the slopes of the floors and variations in floor height throughout the home, limit accessibility of the home, which is a desire. The Owners provided preliminary floor plans, prepared by Others, of the future layout of the home and the Architect and Owners discussed options for utilizing the garage space at the northeast corner of the home as a potential accessible bedroom. Following the review of this assessment, the Owners and design team will discuss next steps for providing schematic design services that the Owners can utilize to start pricing the project.

Historic Research:

Exhaustive historic research was not included as part of this assessment. However, a quick review of historic Sanborn Insurance Maps was completed to determine approximate timeframes of early alterations to the building. Additionally, a preliminary study of early Leadville City Directories was completed to determine if the initial owner of the home could be determined.

Sanborn Insurance Maps

The earliest available Sanborn Insurance Map for Leadville was completed in 1883. The home at 139 E. 9th Street was in place at that time, see Figure 1 and Figure 2. The Sanborn map depicts that the original footprint of the house consisted of a rectangular plan. The front portion of the house was a 2-story structure with a bay window towards the western half of the front elevation. The "S." symbol indicates that the building was a store. The building transitioned to a single-story at the back. The "x" symbol indicates that the house had a shingle roof, likely indicating wood shingles. At the south edge of the lot was a one and a half story stable with a shingle roof, again likely indicating wood shingles. The map shows that the stable had the address of 139 ½ E. 9th Street. It should be noted that the north elevation of the house aligned with the north elevation of the buildings on either side (the current additions will be discussed in greater detail further into this document).

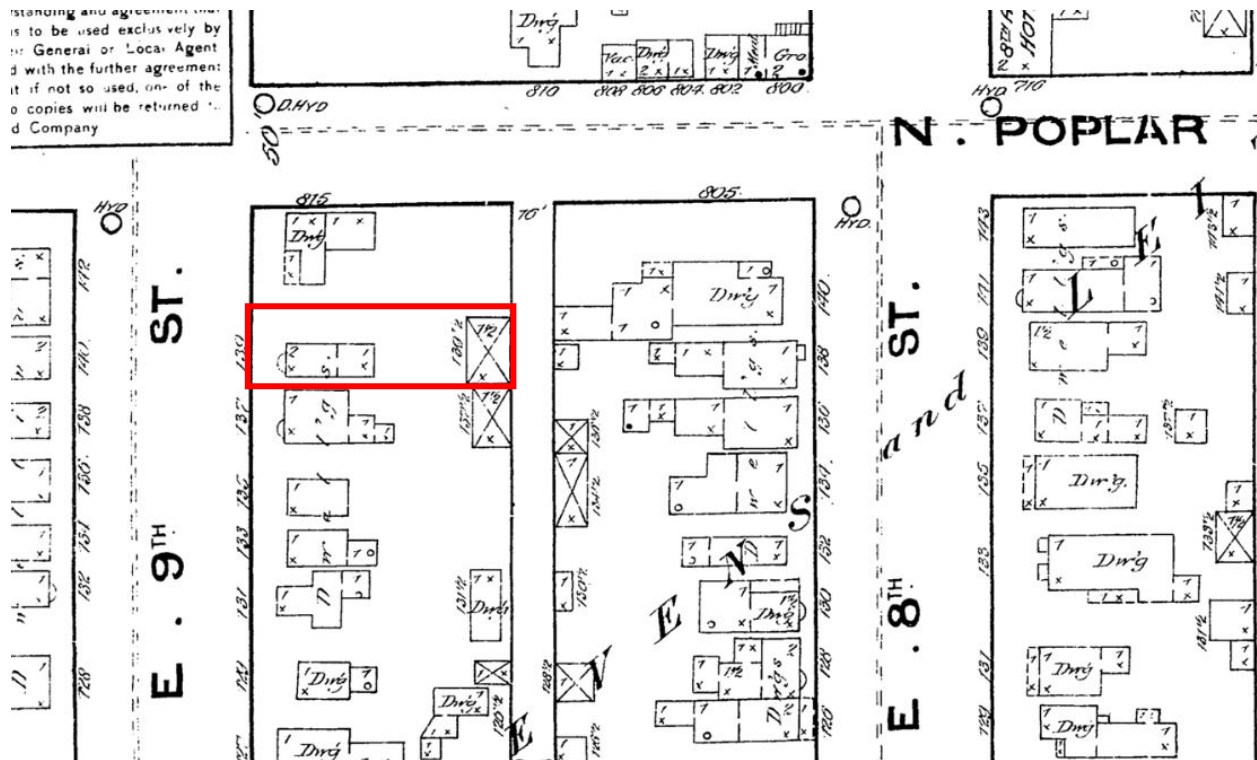


Figure 1: 1883 Sanborn Insurance Map, Source: Denver Public Library

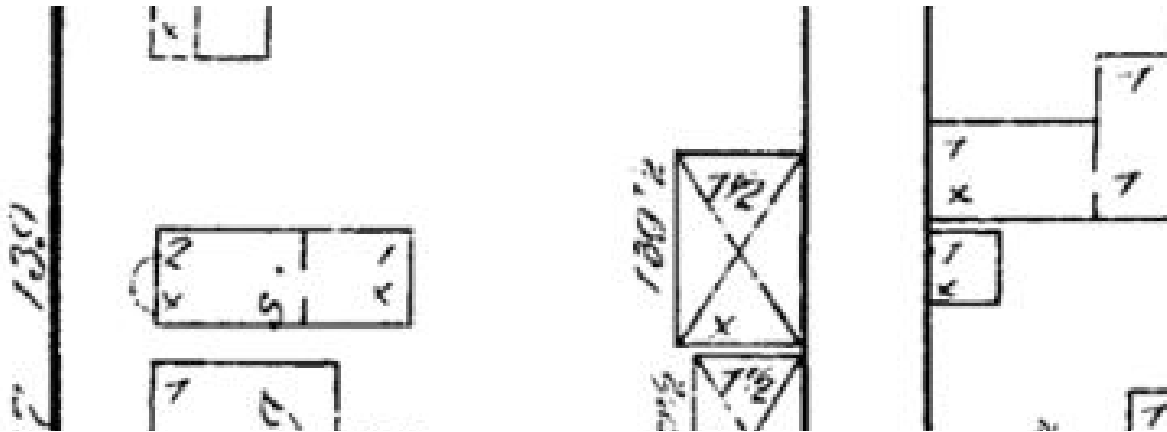


Figure 2: Close-up of 139 E. 9th Street, 1883 Sanborn Insurance Map, Source: Denver Public Library

The next available Sanborn map for Leadville was completed in 1886. Changes to the home can already be seen, see Figure 3 and Figure 4. Although there is text partially obscuring the east wall of the house, it appears there is a new bay along this wall (this is likely located roughly in Room 5, see Figure 6) and there was a one-story addition added to the east side of the north elevation of the stable building. The “Dwg” indicates that it is a dwelling.

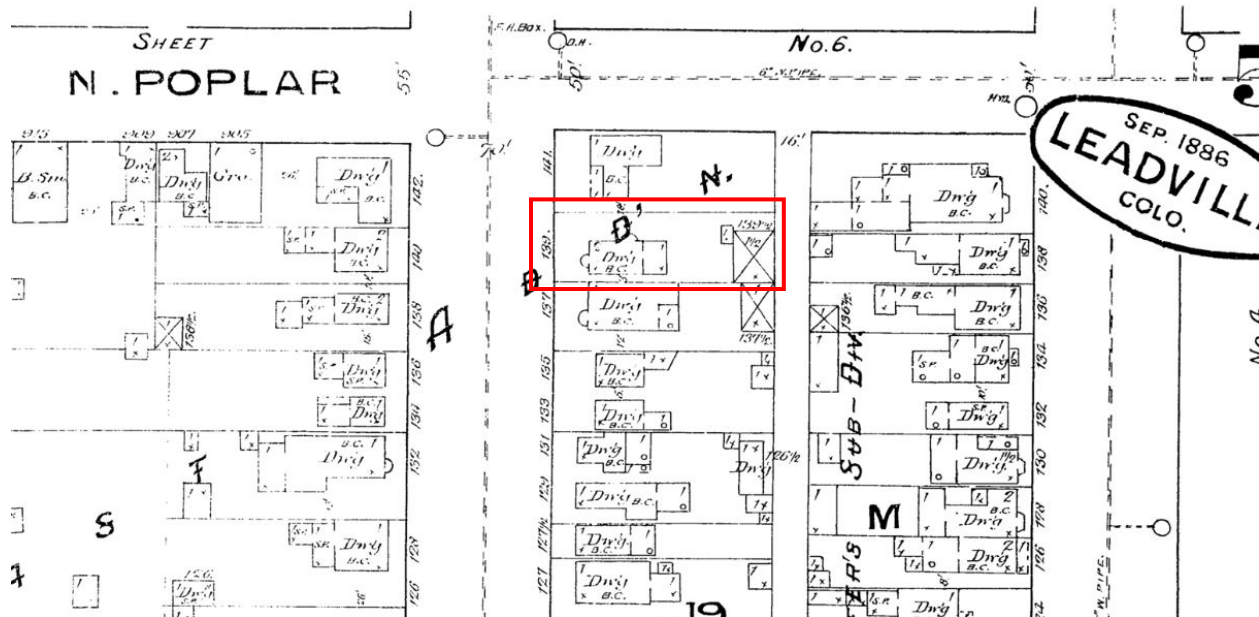


Figure 3: 1886 Sanborn Insurance Map, Source: Denver Public Library

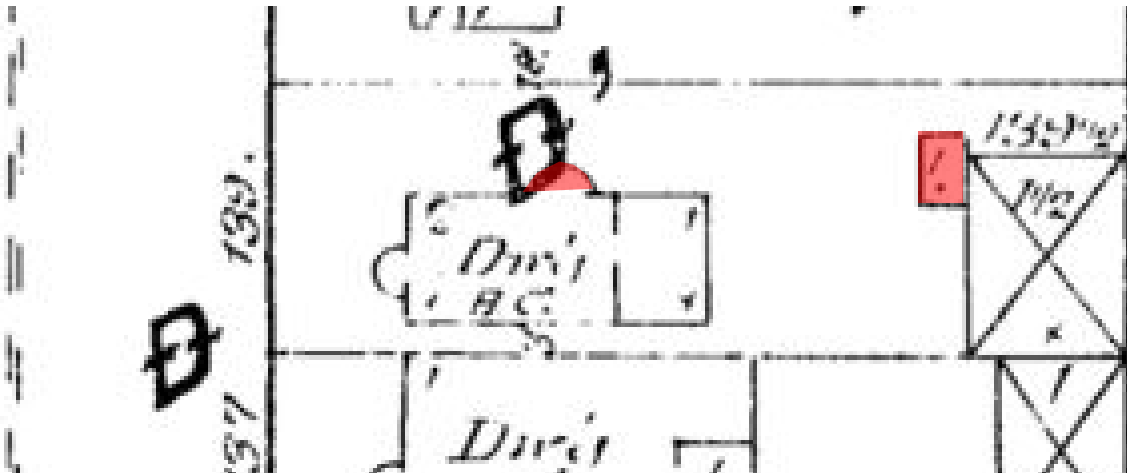


Figure 4: Close-up of 139 E. 9th Street, 1886 Sanborn Insurance Map, Source: Denver Public Library

The next available Sanborn map for Leadville was completed in 1889, see Figure 5 and Figure 6. The east bay is not depicted in this Sanborn map, however this appears to be an error, as it is shown on the 1895 map. A one-story porch addition appears to have been added to the south side of the house. The north half of this porch shows that it is an open porch, and the south section is enclosed. The "O" symbols over the original one-story south end of the house and over the new porch indicate that the roof was slate. This may be an error, or the roof may have been replaced over this portion of the building when the porch was added. Note that the "x" over the two-story north portion of the house still indicates a shingle roof was still in place over this part of the building.

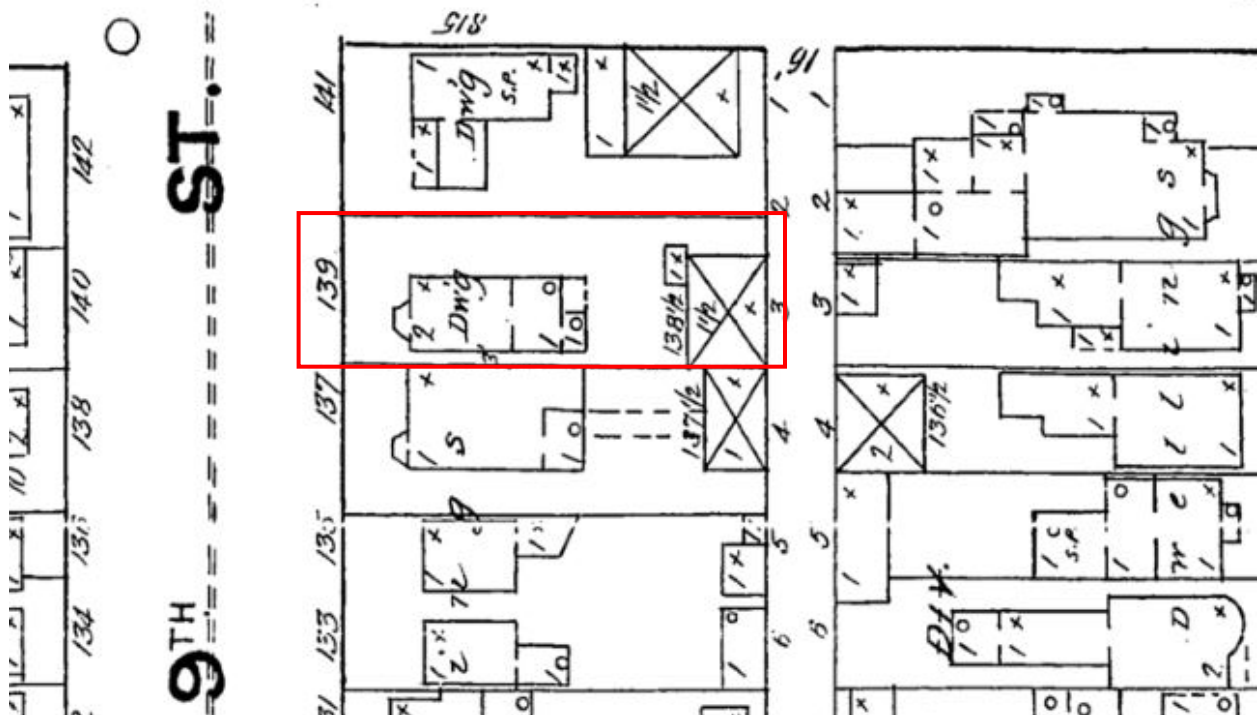


Figure 5: 1889 Sanborn Insurance Map, Source: Denver Public Library

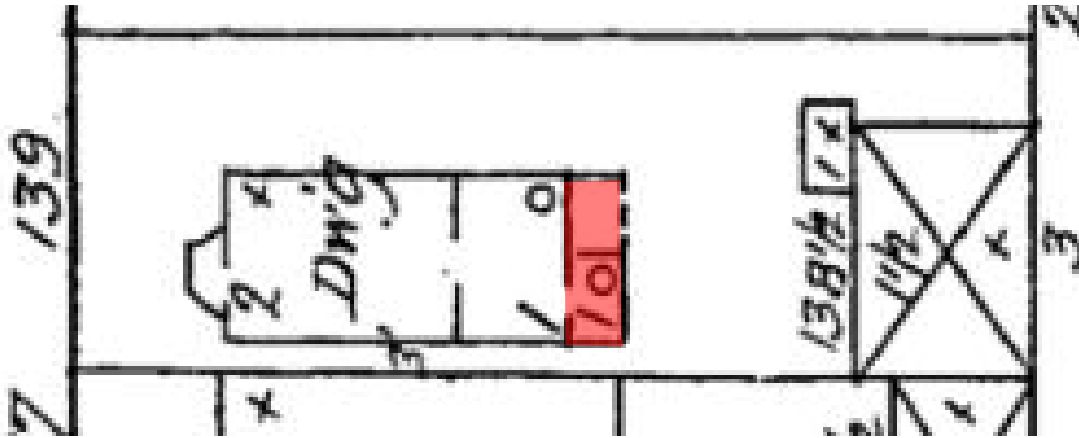


Figure 6: Close-up of 139 E. 9th Street, 1889 Sanborn Insurance Map, Source: Denver Public Library

The next available Sanborn map for Leadville was completed in 1895, see Figure 7 and Figure 8. This map shows the east bay, and it also suggests that the south one-story portion of the building steps towards the west property line. This is similar to the current configuration of the house. Therefore, it appears that this alteration occurred sometime between 1889 and 1895. The south open porch is no longer visible.

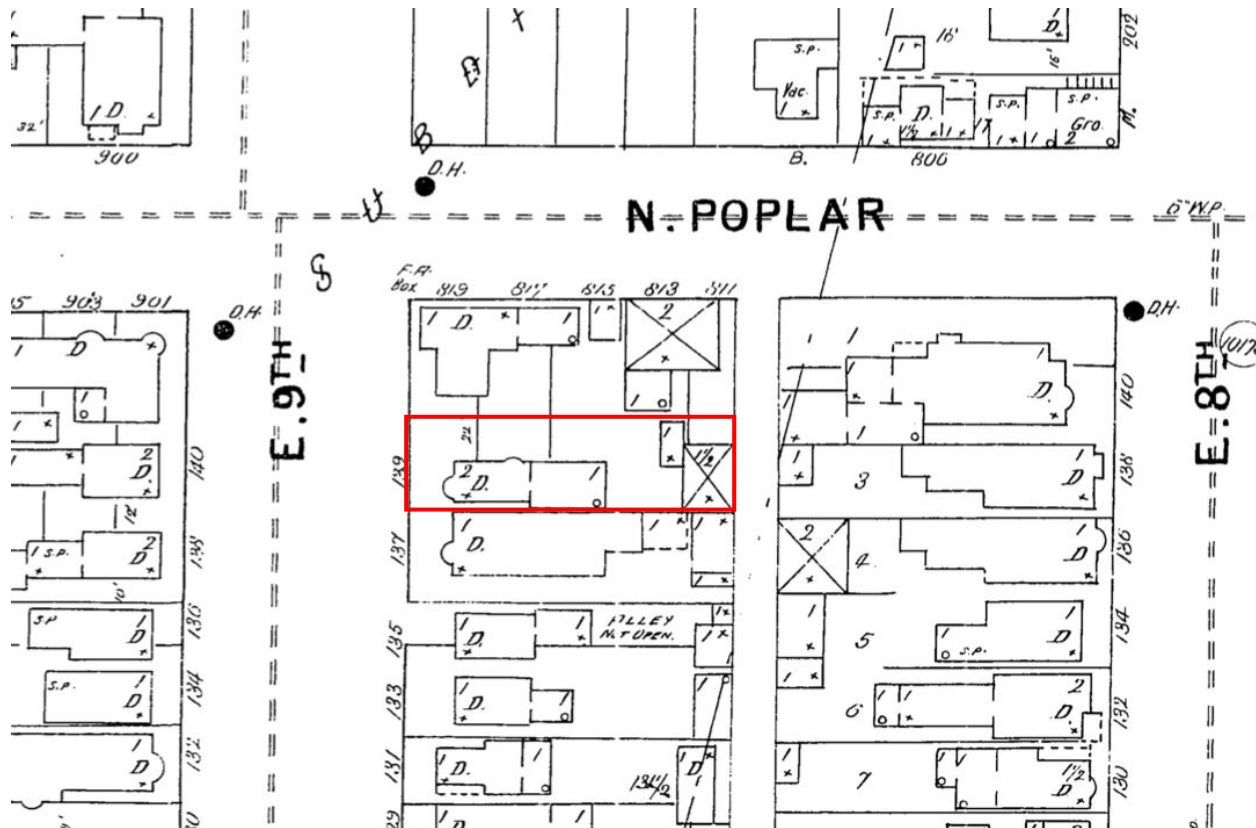


Figure 7: 1895 Sanborn Insurance Map, Source: Denver Public Library

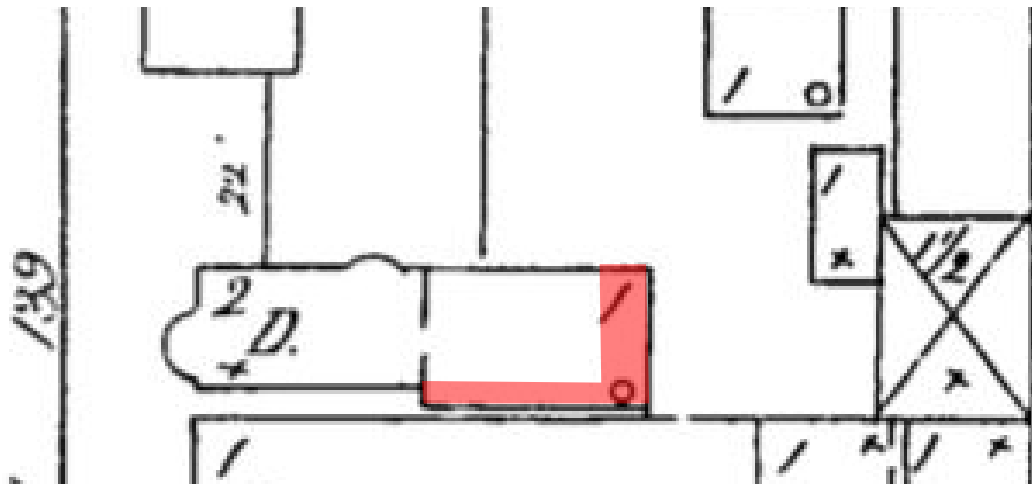


Figure 8: Close-up of 139 E. 9th Street, 1895 Sanborn Insurance Map, Source: Denver Public Library

The last available Sanborn Insurance Map was completed in 1937. This map appears to depict that the home was extended to the north and the vestibule was added to the front door. It also depicts the addition added to the east elevation (at the previous bay location). Therefore, these alterations can be dated between 1895 and 1937 and the garage addition was completed sometime after this timeframe.

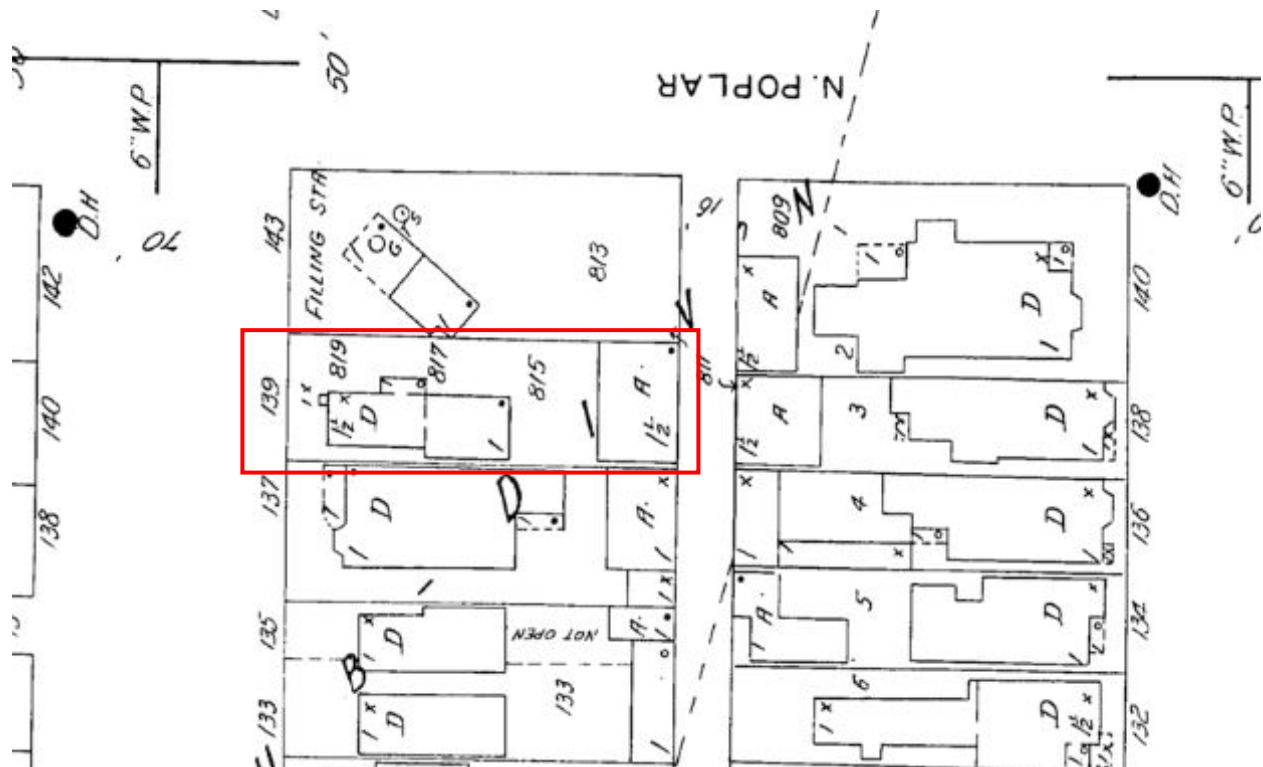


Figure 9: 1937 Sanborn Insurance Map, Source: Denver Public Library

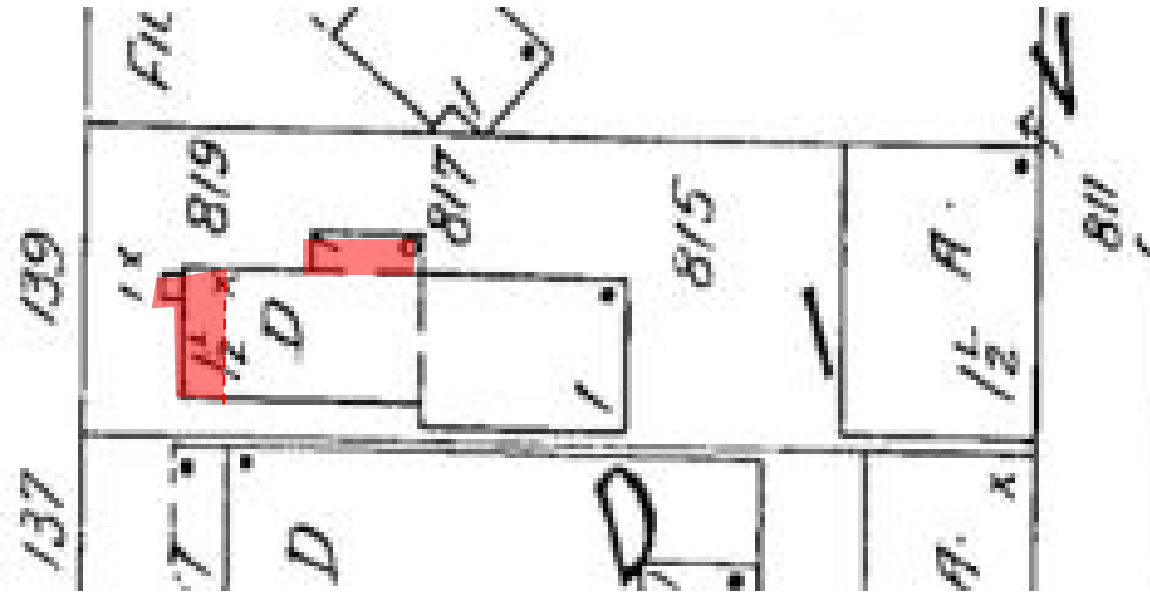


Figure 10: Close-up of 139 E. 9th Street, 1937 Sanborn Insurance Map, Source: Denver Public Library

Leadville City Directories

As mentioned, exhaustive research was not completed as part of this project, however a cursory review was completed to determine if the house pre-dated the first available 1883 Sanborn Map, to better date the original construction. 1879 Clark, Root & Co's First Annual Leadville City Directory appears to be the first directory completed for the City. This directory appears to pre-date the establishment of official addresses throughout the City, with residents organized by last name and listing their information as "res[idence] Ninth avenue, near Harrison" or "res[idence] Ninth avenue, bet[ween] Starr's ditch and Hazel street".

In 1880, Corbett, Hoyer & Co's published their first Leadville Directory, and the address 139 e. 9th can first be identified, however the entry only lists that the last name of the resident as "Nagle,___", see Figure 11. No one named "Nagle" was listed in the 1879 Directory. Based on this limited research, it appears that Nagle may have constructed the original house, but this is uncertain.

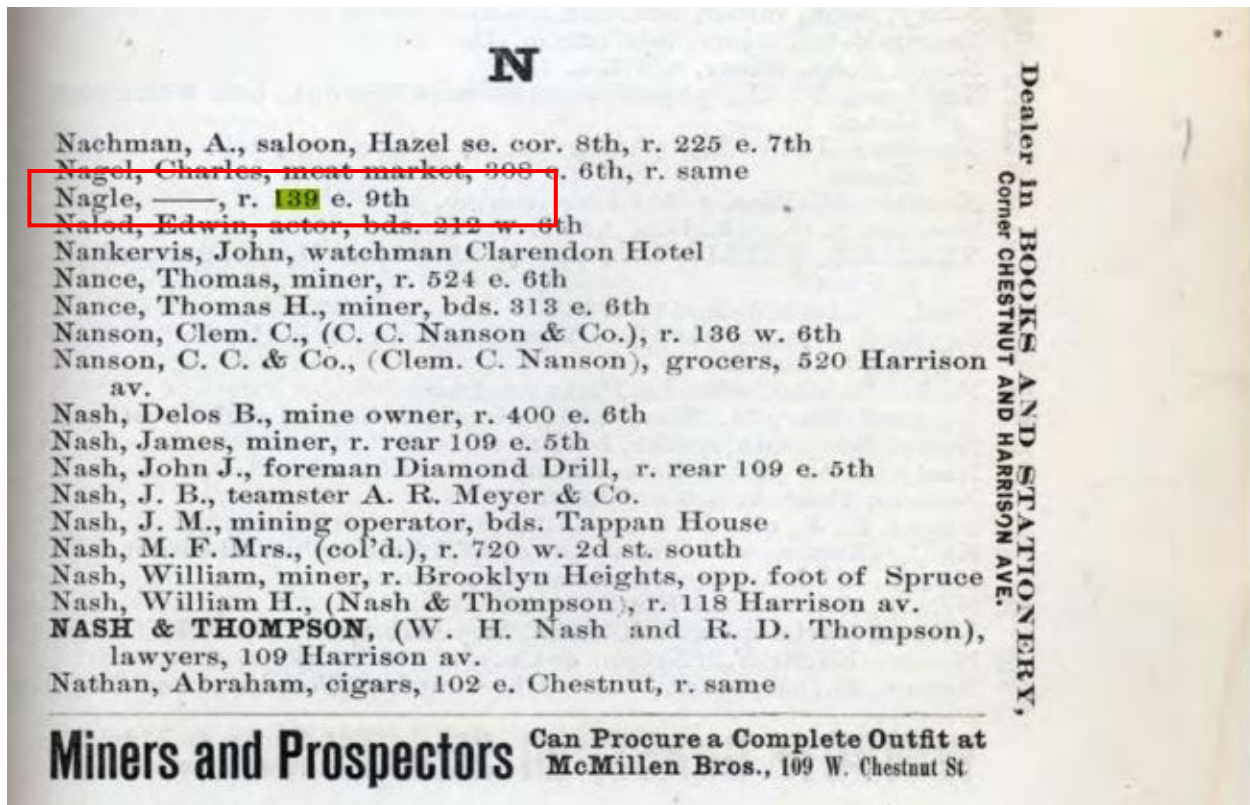


Figure 11: 1880 Corbett, Hoye & Co's First Annual City Directory, page 275, Source: Lake County Public Library

The house appears to have changed ownership, or at least residents (i.e., the Owner may have rented the property), quite often in its first few years. The following table shows the directory date and the resident of 139 e. 9th.

1880	Nagle, ?
1881	Lewis, Oscar, (Lewis, Fisher & Co.)
1882	Lewis, Jerry
1883	Kent, Edward C.
1884	Coleman, Charles D., mining
1885	Wimmer, Robert, ass't supt., Denver City Mine

The directories were not explored beyond 1885, however, the research perhaps gives a snapshot of the drastic changes in populations in Leadville as men came and went pursuing fortune. This also may explain how the home was changed to correspond to each owner's needs/desires. If further historical research is desired, our team would be happy to keep digging.

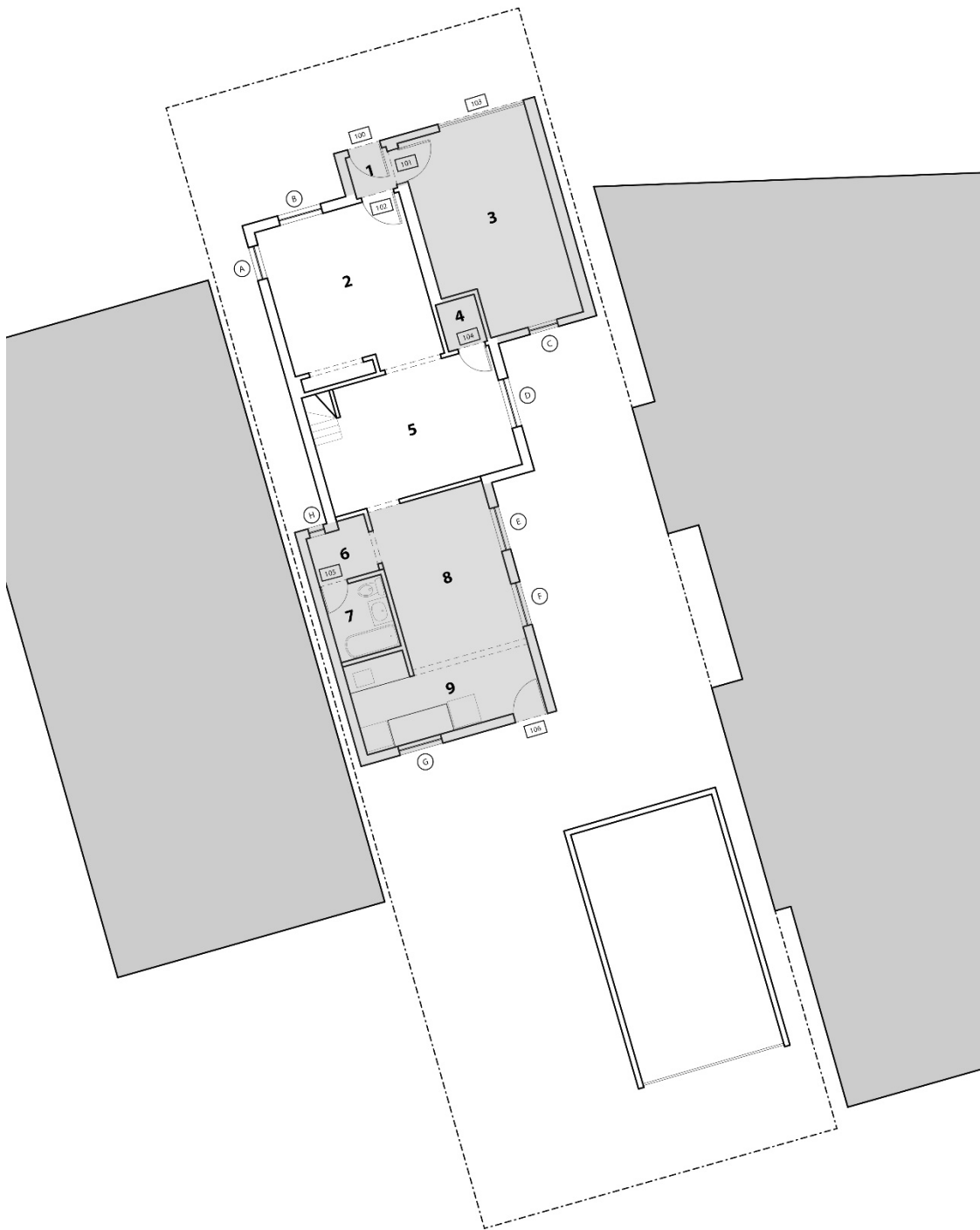


Figure 12: Overall Site Plan

(Image provided by Owner, modified per current conditions)

Building Assessment:

As noted in the structural memo prepared by Ian Glaser, of JVA, Inc., significant structural interventions are suggested to achieve the rehabilitation and programming goals for the house. Anticipating these future interventions, Form+Works focused on documenting historic fabric throughout the home as a means of determining elements/features which should be retained.

Sequence of Additions / Changes

Utilizing the historical research, the design team has a general hypothesis of the sequence of the home's additions, see Figure 13. It is assumed that the red rectangle is the surviving portion of the original home shown in the 1883 Sanborn Map. The red dashed lines show the early bays on the north and east elevations and roughly where the one-story addition was located on the south end of the home. The next changes all occurred at the south end of the home in the areas of the purple and pink boxes. It is possible that the pink area (9 – Kitchen) was the one-story porch addition seen in the 1889 Sanborn map, but this is not certain. As noted, the purple and pink areas were changed several times with the 1895 Sanborn showing this area similarly to its current configuration. The blue, green and orange additions were added sometime between 1895 and 1937. The date of the yellow addition (the Garage) has not been determined, but it was after 1937.

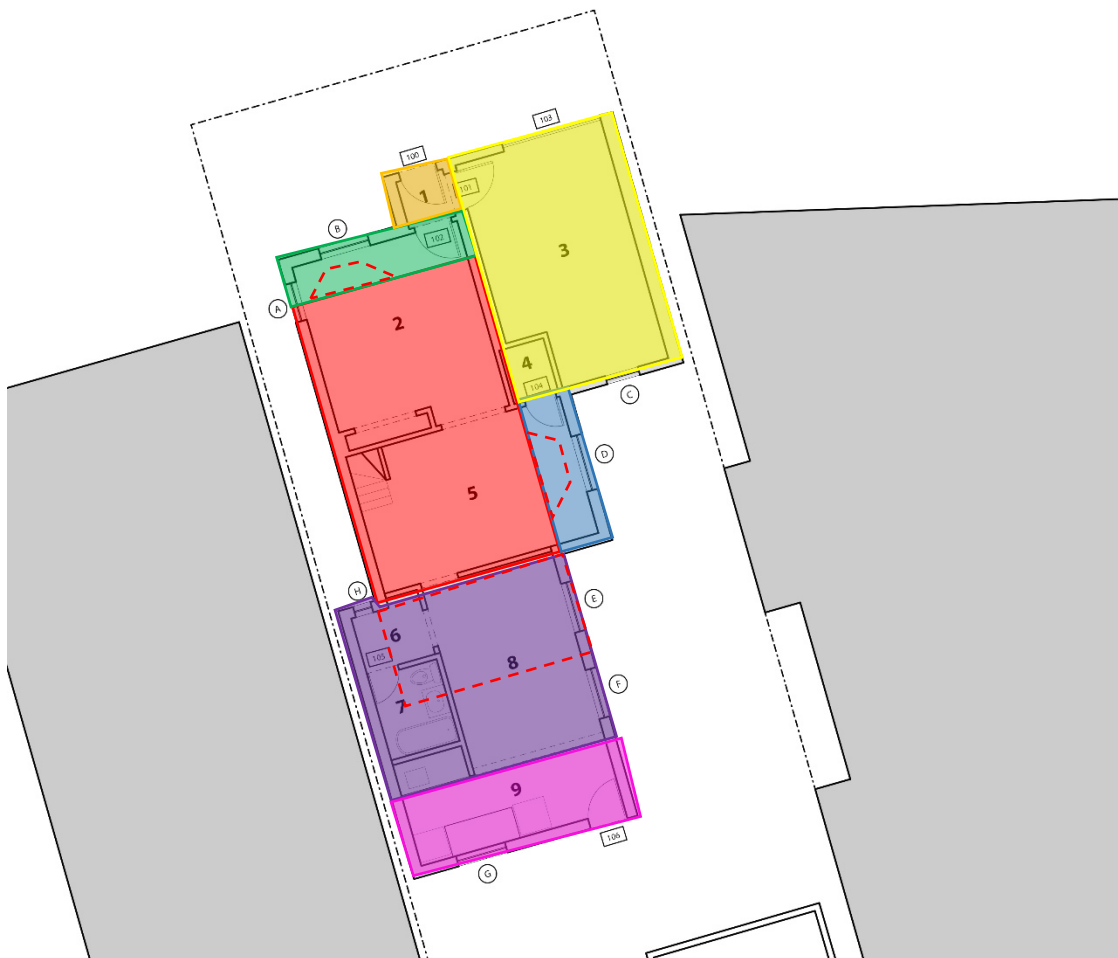


Figure 13: Building Addition Diagram

(Image provided by Owner, modified per current conditions)

Site and Landscaping:

The site was reviewed by the Architect on February 13, 2021 (pre-proposal) and March 29, 2021. At both visits the site was predominantly covered in snow, therefore the site grading and dormant landscaping was not observed. However, based on observations in the crawlspace and the ice/snow accumulation along the west property line, correction of site grading is likely necessary. There are two trees adjacent to the home on the east side of Room 8. These may be impacted by the future work on the south addition, or they may be able to be retained in place. There are two trees adjacent to the home on the south side of Room 9, one of the trees has grown into the awning roof that extends past the south wall. It is likely this tree will be impacted by the future work on the south addition. The second tree may also be impacted by the new work, or it may be able to be retained in place.

Recommendation: When the major renovation project for the home commences, it is recommended that the site drainage and landscaping be evaluated and corrected where necessary. Until this time, it is recommended that the Owner ensure that there is a “dry zone” maintained around the base of the building foundation to mitigate water and deterioration. This zone should be cleared of vegetation and the grade should slope away from the building. We typically recommend that this zone be approximately 36”, but this may not be feasible in all areas around the building. The “dry zone” can be covered by stone crusher fines or just be left as dirt. Until the major renovation project starts, it is recommended that the trees continue to be monitored and maintained, trimming branches and limbs as needed. The Owner can consider moving ahead with removing the south tree that has been integrated into the roof to limit the continued growth of the tree affecting the home.

Building Exterior:

The changes to the home are most evident in the changes in the exterior siding. The transition from the green addition and the original red structure is visible on the west elevation where the siding transitions from 4 ¼” wood clapboard siding to a wood texture panel siding. There is also a line at the soffit indicating where the eave was extended north, see Figure 14. There are several siding campaigns on the house including but not limited to the 4 ¼” wood clapboard, 4 ½” wood clapboard (on vestibule and garage), 5” drop wood siding (back of garage and east elevation), 4’x8’ wood texture panel (with 8” spacing between faux boards) (east and south elevations) and panel siding with 4” vertical faux boards (on south wall of blue addition).

Recommendation: It is assumed that the goal of the finished house would be to introduce a cohesive look on the exterior of the building. Preservation standards would suggest that the siding on the original two-story structure should differ from the later additions, to easily differentiate the construction. Depending on the Owner’s preferred direction of removing and replacing later additions, per JVA’s narrative, the Owner and Architect should discuss desired visual outcome for the exterior during the design process. Preliminarily, our team would recommend removing all miscellaneous siding from the building, except the 4 ¼” wood clapboard siding. If feasible our team would advocate retaining the 4 ¼” wood clapboard siding and trims in their current locations, however if the structural work would impact it, it might be more efficient to uninstall, salvage useable portions and reinstall. A slight change in the exterior siding on the additions could be made, or if the Owner desires, a completely different exterior material could be installed on the new/retained additions to differentiate them from the historic. We would recommend insulating the exterior walls either from the exterior (when siding is removed) or

from the interior. The Owners and Architect can discuss the various options for insulation materials and installation methods.



Figure 14: West elevation at north (green) addition

Roof:

There is a metal roof and flashing over all visible portions of the home, although the style varies slightly, see Figure 15 and Figure 16

Recommendation: The existing metal roof is in poor to fair condition, depending on the location. As noted from the cursory historic research, metal is not the historic roofing material over the original house. Restoration of the historic material is not required, and metal roofs do offer longevity, durability,

and fire-resistance. Although the roof may be serviceable for several more years, when the major renovation project is undertaken our team would recommend that the existing roofing be removed, rigid insulation added on top of the roof sheathing to increase energy performance of the house. The Owner and Architect should determine an appropriate roofing material for replacement at that time. The addition of snow guards and gutters and downspouts should also be discussed, and the Owners can determine if a snowmelt system is desired for ease of maintenance.



Figure 15: Corrugated Metal Roof Over Original 2-Story House



Figure 16: Corrugated Metal Roof Over 1-Story South Addition

Chimneys:

There are two brick masonry chimneys on the home, one in historic portion of the home, and one located in the south addition. Both chimneys are in poor condition. There are open mortar joints visible and missing / shifted bricks.

Recommendation: Depending on the Owners' plan for the south addition, the chimney may be removed. In the meantime, the Owner should ensure that the sealant and flashing around the chimney is maintained / improved to prevent water from entering the building in / around the chimney. The chimney on the historic portion of the home should be rehabilitated. Since this is not an active chimney, a sheet metal cap should be installed to enclose the chimney and base flashing should be installed to prevent water from entering the building in / around the chimney.

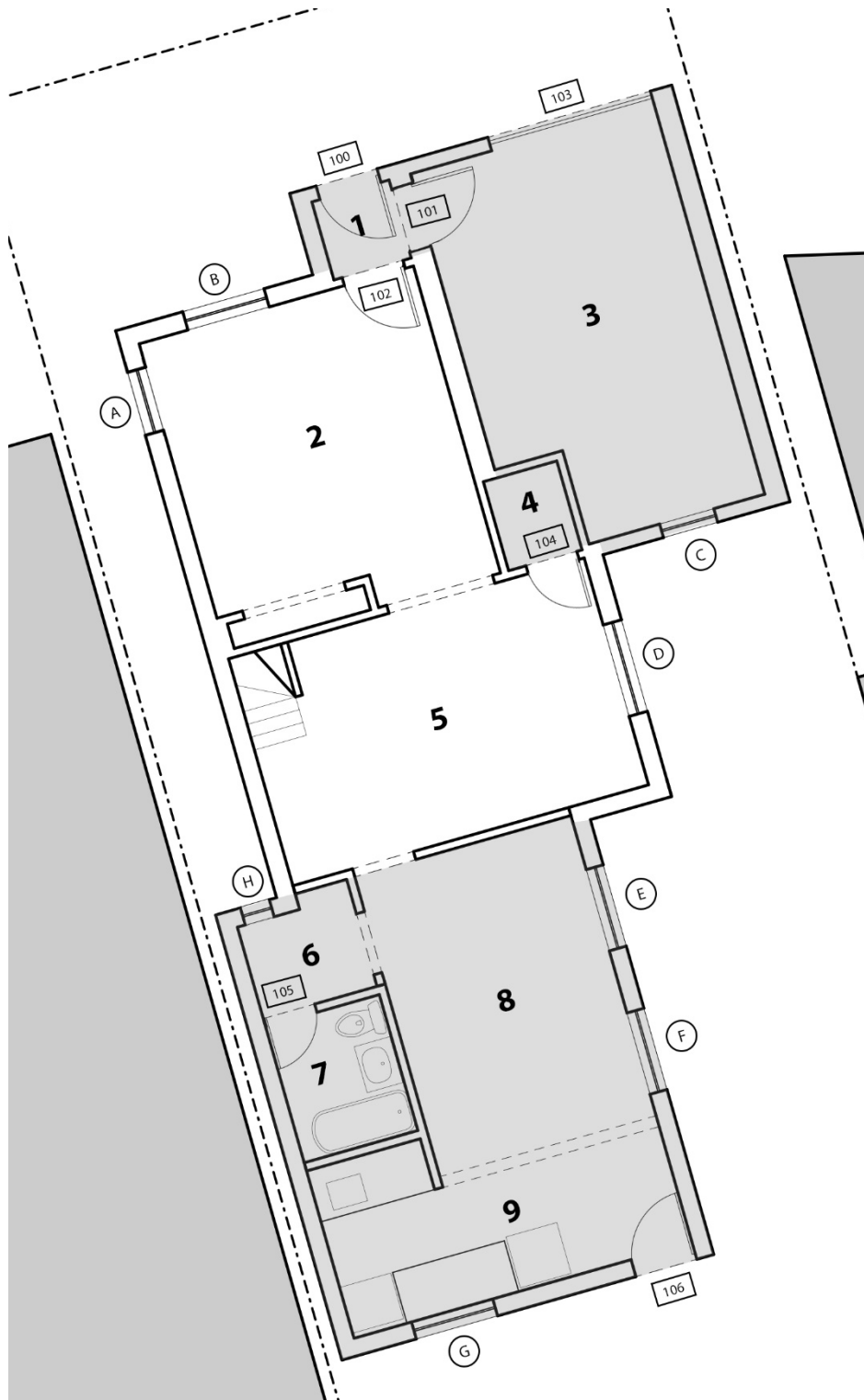


Figure 17: First Floor Plan

(Image provided by Owner, modified per current conditions)

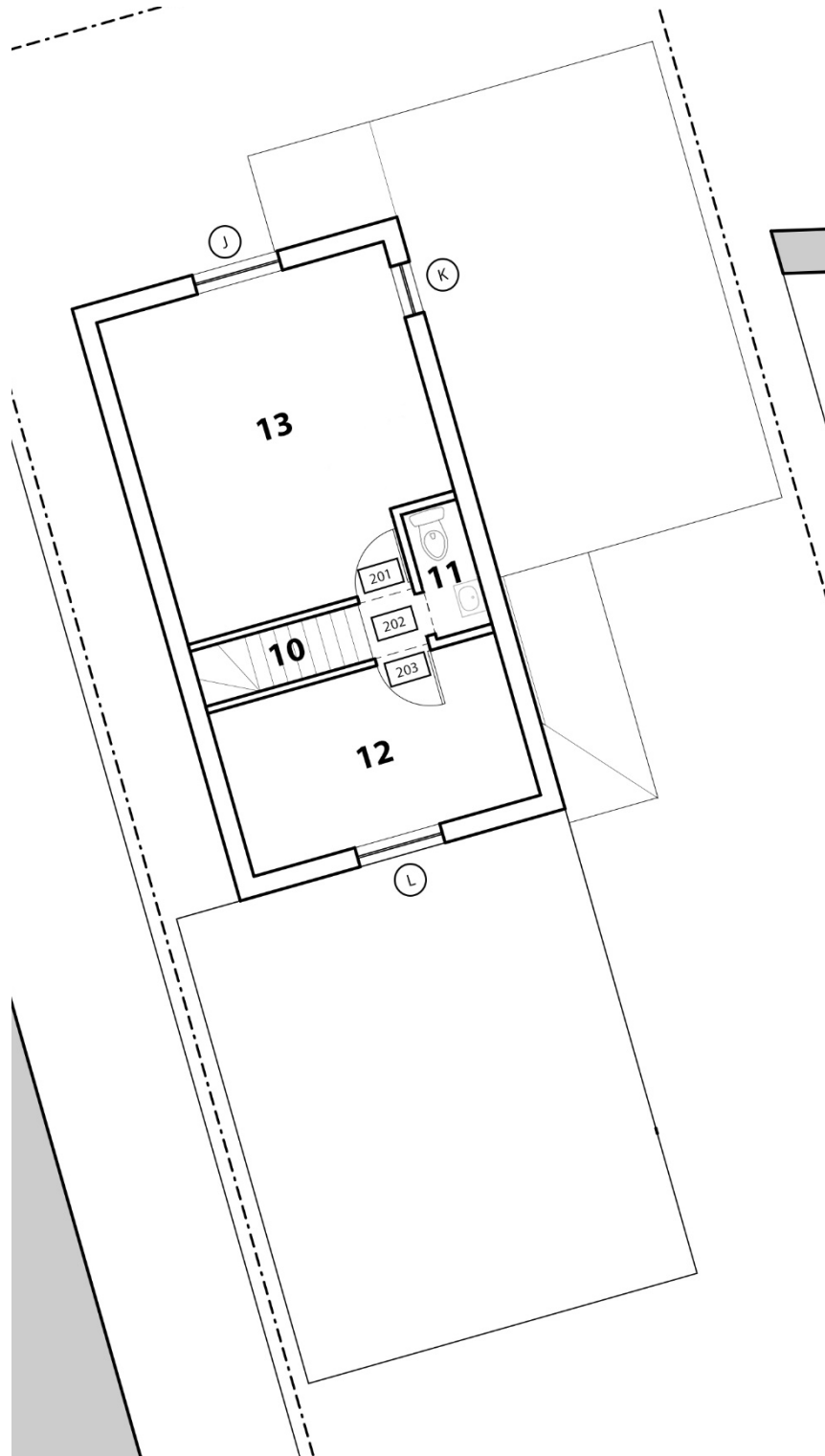


Figure 18: Second Floor Plan

(Image provided by Owner, modified per current conditions)

Interior Finishes:

The following table catalogs the existing finishes on the interior of the house. Refer to figures Figure 17 and Figure 18 for the room numbers associated with the table. Cracking / visible damage to finishes is noted where observed.

Finish Schedule

Room Number	Floor Material	Wall Material	Ceiling Material	Visible Cracking / Damage
1 Entry	Beadboard	Painted gypsum, painted plywood patchwork and siding from exterior.	Beadboard Paneling	No
2 Front Room	Composite Wood Flooring, 10.5" wood base & 9.25" wood base with original 6.25" trim on top.	Wallpaper with crown molding.	Plaster	Yes
3 Garage	Wood Boards	Wood Boards	Unfinished	No
4 Closet	Not accessible	Not accessible	Not accessible	Unknown
5 Living Room	Composite Wood Flooring, 5" original wood base with 4" & 1" trim added on top.	Wallpaper with crown molding. Painted bead board under stairs.	Plaster	Yes
6 Laundry Room	Linoleum Tile over Wood Floors, Wood Base	Painted horizontal wood panels at lower half of wall, painted vertical wood panels at upper half of wall. Wood trim separating upper and lower wood panels.	12"x12" Acoustic Ceiling Tiles	No
7 Restroom	Linoleum Tile, Wood Base	Painted horizontal wood panels at lower half of wall, painted vertical wood panels at upper half of wall.	Beadboard Paneling	No

		Wood trim separating upper and lower wood panels.		
8 Dining Room	Composite Wood Flooring, Wood Base	Faux Wood Paneling	Beadboard Paneling	No
9 Kitchen	Ceramic Tile	Wallpaper and painted plaster with tile backsplash.	Beadboard Paneling	No
10 Hallway	Wood Stairs with Carpet Run	Wallpaper on lower half, wood paneling on upper half.	12"x12" Acoustic Ceiling Tiles	Yes
11 Second Floor Restroom	Ceramic Tile	Wallpaper and painted wood paneling.	Wallpaper	No
12 Bedroom	Composite Wood Flooring	White Beadboard Paneling	Wallpaper	No
13 Master Bedroom	Composite Wood Flooring	White Beadboard Paneling	Wallpaper	No

Recommendation: The full impact on finishes is unknown until the structural upgrades are designed and implemented into the building. Our recommendation would be to uninstall and salvage all historic wood trims and beadboard for reuse. The plaster walls and ceilings will likely be impacted during structural work. Consideration could be given to repairing the plaster in kind or encapsulating what survives behind new gypsum board. It is recommended that the Owners complete hazardous material testing prior to proceeding with any demolition work. It is likely that the home contains lead-based paints, but there could be asbestos containing materials inside the home as well, which would have impacts on cost for the renovation project.



Figure 19: Room 2 Wallpaper



Figure 20: Room 5 Stove and Corner Built-in Cabinet

Doors:

There are several styles and ages of doors throughout the home, the table below catalogs them. See Figure 17 and Figure 18 to see door locations. It is likely the oldest / most original doors are the raised / double raised 4-panel wood doors (105, 201, and 203).

#	Width	Height	Type	Comments
100	32"	80.5"	9-panel, One Lite, 3-panel Wood	Integral doorbell, historic latch set, modern deadbolt, damage to rail at deadbolt, door racked in opening. 3.5"-0.5" interior trim. Lite-wood glazing stop.
101	29.5"	78"	Modern Flush Wood	Knob does not function, no latch.
102	32"	79"	8-panel Wood	Cut to fit opening. Historic hinge pockets visible at frame. Opening had screen door originally.
103	9'-0"	86"	4-panel	Garage door
104	28"	80"	Modern Flush Wood	Temp secured for heat.
105	23.5"	78"	Raised 4-panel Wood	Historic panel/frame, hardware not original.
106	30"	76"	3-panel Wood w/ Full Glass Lite	Wood glazing stop. Modern hardware with electronic lock.
201	30"	74"	4-panel Wood Double Raised	Historically appropriate knob set. One-side only.
202	24"	74.5"	Wood Bi-fold	Closet door.
203	30"	76.5"	4-panel Wood Double Raised	Historically appropriate knob set. One-side only. 2 cracked panels.

Recommendation: During the design process the Owner and Architect should determine what the desired outcome for the doors should be. Our team would recommend retaining and rehabilitating the most historic doors (100, 105, 106, 201, and 203) and finding a compatible style of door for the remaining openings. If the garage addition is retained and turned into a bedroom as early discussions with the Owner suggest, a new faux carriage door could be designed for this opening that would provide some light but secure the opening from weather. This can be discussed further during design.

Windows:

There are a total of eleven (11) windows in the building. Based on the drastic changes that occurred in the home over time, including adding/removing bays and additions, it seems unlikely that any of the wood windows are in their historic location. It is possible the home's windows were relocated when additions were made. Because it is not fully known the window schedule categorizes the surviving wood windows as "historic".

Letter	Width	Height	Type	Material	Comments
A	32"	17"	1-Lite Fixed	Wood / "historic"	58.5" above floor. Broken pane. Aluminum storm window.

B	52"	69"	2-Lite Fixed	Wood / "historic"	20.5" above floor. 1" mull at 19" from top. Aluminum storm window.
C	29"	40"	Missing – was likely a 1-over-1 Lite Double Hung	N/A	Missing sash, opening racked.
D	54.5"	28"	1-Lite Fixed	Wood	54.5" above floor. Original opening 56"x42.5 +/-".
E	25"	53"	1-over-1 Lite Double Hung	Wood / "historic"	23.5" above floor. Sash pins, aluminum storm window. Broken top pane.
F	25"	53"	1-over-1 Lite Double Hung	Wood / "historic"	24" above floor. Spring pins, aluminum storm window. Meeting rail not aligned.
G	46"	34 +/-"	1-by-1 Lite Horizontal Slider	Vinyl	Below countertop.
H	20"	34"	Infilled with Insulation	N/A	53" above floor. Water heater exhaust routing.
J	52"	70"	1-over-1 Lite Single Hung	Wood / "historic"	7.5" above floor. Exterior aluminum storm window.
K	34.5"	18"	1-Lite Hopper	Wood / "historic"	23" above floor. Broken glass. Exterior aluminum storm window.
L	60.25"	48"	1-by-1 Lite Horizontal Slider	Vinyl	22" above floor.

Recommendation: The windows indicated as "historic" should be retained and rehabilitated. If the additions are being removed, these windows could be uninstalled, salvaged, and reinstalled in the new construction. For the non-historic windows, wood replacement windows should be installed that are more visually compatible. New storm windows could be installed on the interior of the historic windows to increase energy efficiency but retain the historic appearance of the home on the exterior.

Millwork:

There is a built-in corner cabinet in Room 5, see Figure 20. It is unknown if this is an original component to the home or if it was added later. However, the style and construction indicate it is likely an early element.

Recommendation: Preliminary discussions between the Owner and the Architect discussed relocating the stove, next to the built-in corner cabinet, to move it away from the bottom of the stair to the second floor. The Owners mentioned relocating the corner built-in to another area of the home and placing the stove in location of the built-in. It is recommended that the cabinet be retained inside the home, either in its current location or elsewhere in the home. The Owners and Architect can determine the best location for elements during the design.



JVA, Incorporated

1319 Spruce Street

Boulder, CO 80302

303.444.1951

info@jvajva.com

www.jvajva.com

April 13, 2021. Updated April 26, 2021

Natalie Lord, RA, LEED AP BD+C
Principal
form+works design group, LLC
P.O. Box 476
Eastlake, CO 80614

RE: Ian Munoz & Sophie Riese Residence
139 East 9th Street
Leadville, CO 80461
Structural Condition Observations and Recommendations
JVA Job Number 20845

Dear Natalie:

PURPOSE

The owners are contemplating a refurbishment project for their property in Leadville, and they hired your firm to perform a study. Subsequently, F+WDG engaged JVA to provide structural input. JVA visited the site on March 29, 2021 to perform a visual condition assessment. We performed a limited review of accessible framing and foundation elements so that we can provide structural commentary to the study.

No material testing or invasive probes were performed. The information contained in this report is intended to describe our observations and recommend repair concepts. No structural design has been completed for this letter; recommendations have been made based on our experience and our preliminary analysis. Hazardous material testing was not performed for this study but should be included in future studies. It should also be noted that we observed a sewer leak in the dug-out crawlspace.

We envision the next step to be a meeting with you and/or the homeowners to discuss structural repair recommendations in the context of the larger refurbishment project. Once stakeholders have confirmed repair strategies and upon request, we can proceed with developing construction documents.

DESCRIPTION

The Munoz-Riese Residence was constructed in several phases. The original gable building is cited on the north side of the property. There are several additions: an extension to the north, a garage to the east, an extension to the east at the rear of the original building, a large addition to the south that appears to have been followed with an extension to the south. The architectural narrative provides estimates for the eras of construction.

Each of the building sections was built with wood floor, wall, and roof framing. Foundations are largely concealed below grade (and snow) but where they were visible, they were determined to be wood. It is speculated that all the building sections bear on (6x6) timber sills that in turn are



supported directly on grade or by stones in grade. A shallow crawlspace exists under all the building sections' first floors. The crawlspace at the south addition is partially excavated allowing access to plumbing serving the bathroom and kitchen.

STRUCTURAL EXISTING CONDITION FINDINGS AND RECOMMENDATIONS

The structural condition of the Munoz-Riese Residence varies between fair and poor. In general terms, the residence is functioning and can likely continue to do for several years if it is routinely maintained. Meanwhile, the floors are badly out of level suggesting foundation deterioration, the west wall of the north section is leaning outward sympathetically, and the second-floor framing is undersized. The west wall foundation deterioration and associated wall tilt is serious enough to initiate a monitoring program and it should be given the highest repair priority.

Framing of the original house and the north extension is largely not visible but is assumed to be regular and built conventionally. It is unknown if the interior stair is original or if it was added to allow habitation of a former attic. The additions are each modest and constructed expediently with minimal materials. At the interface of each addition with the previous building section, the formerly constructed section was crudely modified to facilitate the successive addition. As a result, the building looks and feels, from both the exterior and interior, like a series of modules. The building lacks continuity. While no individual structural condition was observed that could be characterized as eminently dangerous, there are a myriad of marginal structural condition issues throughout the building that combine to warrant removal of finishes followed by a comprehensive structural strengthening campaign.

We understand that consideration has been given to removing the additions that fall outside the residence's period of significance, that lack historic integrity, that are too close to property lines, or that are in poor condition. In our opinion, the cost of removing poorly constructed additions will cost less than refurbishing them and in doing so, return charm to the original residence. We also understand that the loss of livable space is too high a tradeoff to justify demolition of the additions without replacement. JVA has not studied the cost of removing the additions and constructing new compatible attached (or detached) additions but do know they can be designed to significantly improve functionality for the occupants.

For whichever building sections are decided to be kept, full structural strengthening should be planned. This includes lifting and leveling the structure and resetting it on new reinforced concrete foundations placed at frost depth. Second-floor framing should be bolstered. First-floor, roof, and wall framing should all be strategically strengthened. There will certainly be more discreet deficiencies that present themselves once finishes are removed and any costing exercise should account for these inevitable discoveries.

The attached field notes illustrate framing arrangements, identify structural condition issues, and characterize the movement of the floors and walls. Being mindful of the owner's budget, we have not transferred our documentation and repair concepts to electronic drawing format. We would be happy to do so after a scope-confirmation meeting.

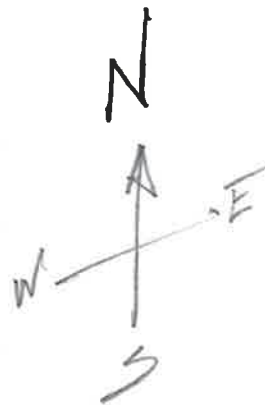


Please do not hesitate to reach out if there are any questions. We would be happy to clarify or elaborate and work towards establishing next steps. We look forward to working with you on this project.

Sincerely,
JVA, INCORPORATED

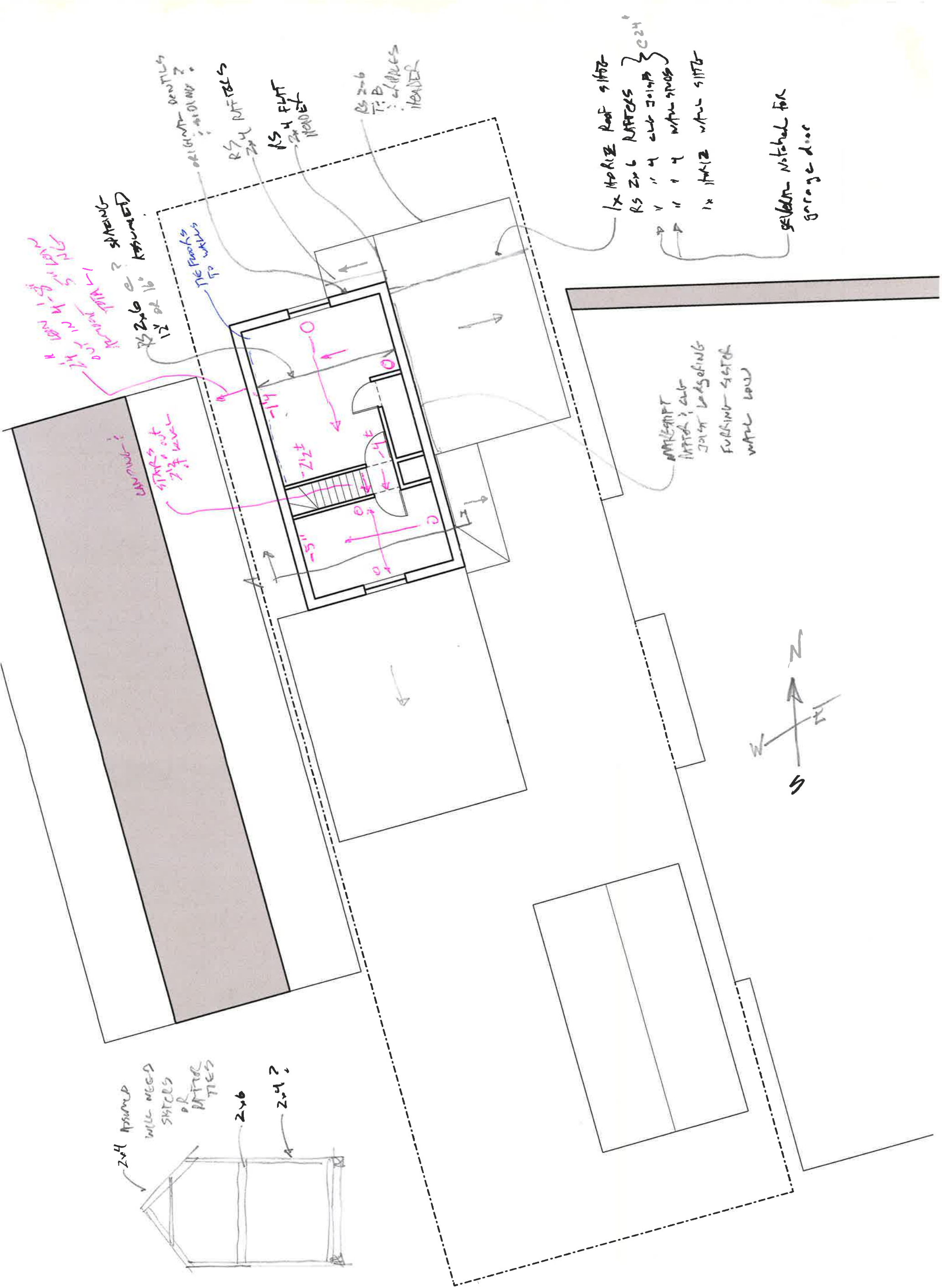
By: Ian Glaser, PE
Principal

Enclosure: JVA Field Notes dated 3/29/2021



IRG FIELD NOTES

3/29/2021



**DRAWING
AGENCY**

Drawn By: GP

Date: 02/26/2021

Title: Existing Second Floor Plan,
Leadville House.

NOT FOR CONSTRUCTION

Scale: 1/8" = 1'-0"

Project: Leadville House

DSK002B

OWNER

Ian Munoz & Sophie Riese
139 E. 9th Street
Leadville, Colorado 80461
p. 970.631.2927
e. iam@ianmunoz.com

DESIGNER

Drawing Agency
Galen Pardee
p. 530.574.3938
e. galen@drawingagency.org

STRUCTURAL

JVA Inc.
1319 Spruce Street
Boulder, Colorado 80302
p. 303.565.4918
e. iglaser@jvajva.com

PRESERVATION ARCHITECT

Form+Works Design Group, LLC
P.O. Box 476
Eastlake, Colorado 80614
Natalie Lord, RA, LEED AP BD+C
p. 303.598.6545
e. natalie@formworksdesigngroup.com



139 E. 9TH STREET
RESIDENCE RENOVATION & ADDITION
LEADVILLE, COLORADO 80461

MARCH 3, 2022

HPC SUBMITTAL

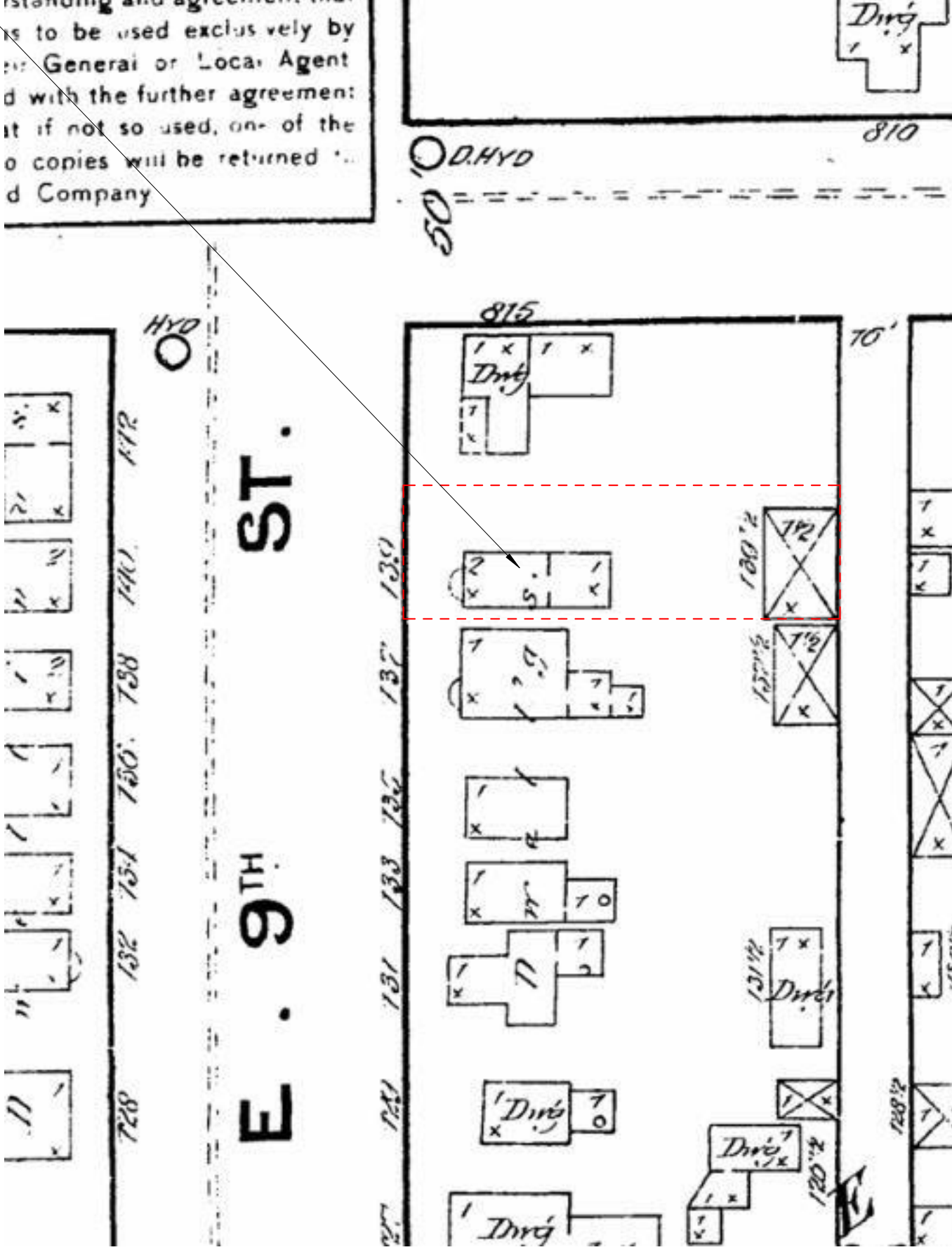
form + works

design group, LLC

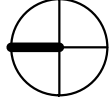
Project Number

21-008

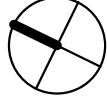
139 E. 9th Street
Leadville, Colorado



2 AERIAL - GOOGLE EARTH
N.T.S.



1 BUILDING LOCATION
N.T.S.



DRAWING AGENCY

form + works
design group, LLC

139 E. 9TH STREET

MARCH 3, 2022

Project Number

21-008

Scale

N.T.S.

BUILDING LOCATION

A-001

RED: ORIGINAL HISTORIC BUILDING

RED DASHED LINES: EARLY ADDITIONS THAT WERE REMOVED / CHANGED WITH LATER ADDITIONS

BUILDING ADDITIONS:

- PURPLE AND PINK WERE CHANGED SEVERAL TIMES FROM 1889 - CURRENT
- BLUE, GREEN AND ORANGE ADDITIONS WERE ADDED BETWEEN 1895 - 1937
- YELLOW ADDITION WAS NOT DETERMINED, BUT ADDED SOMETIME AFTER 1937

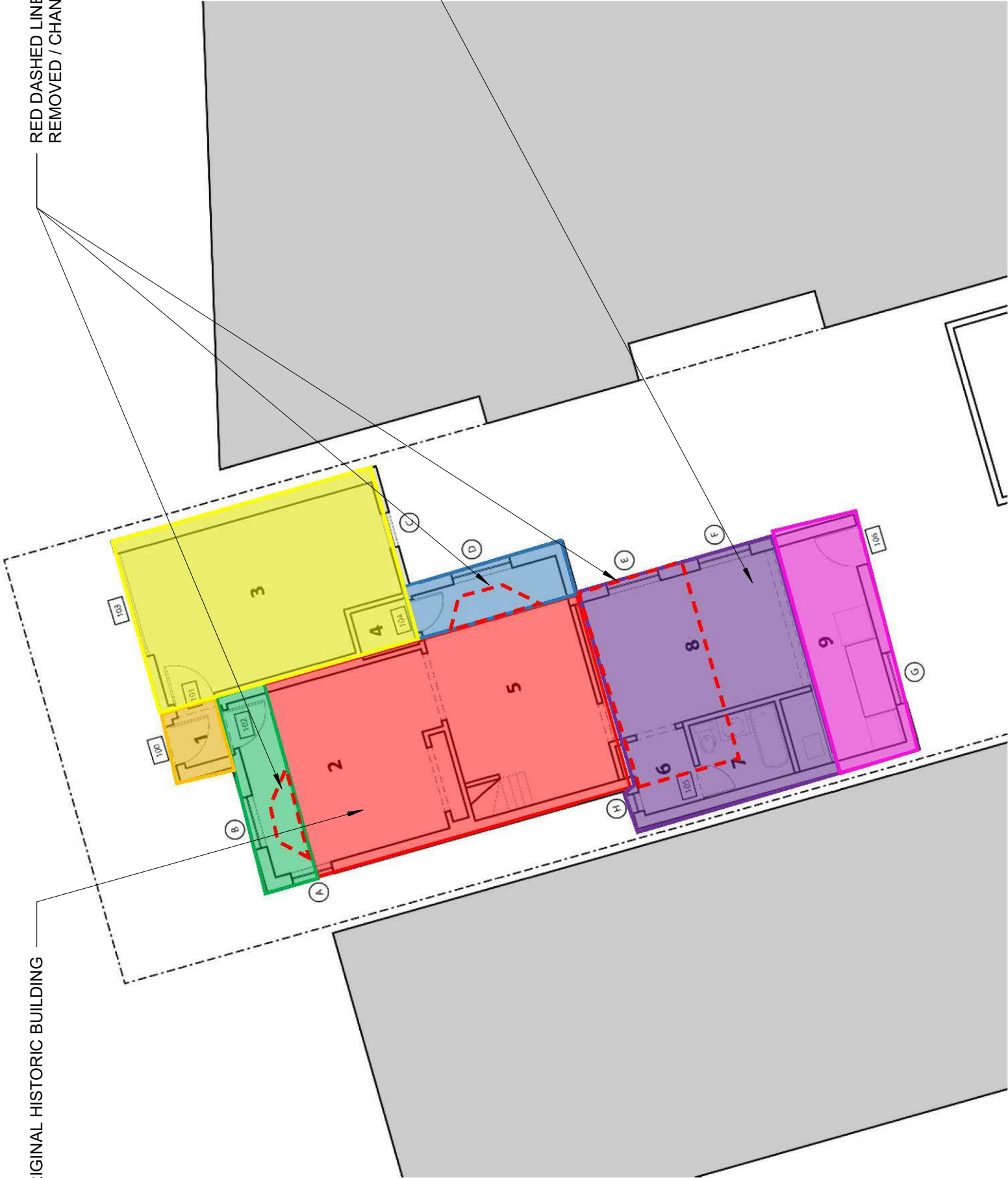
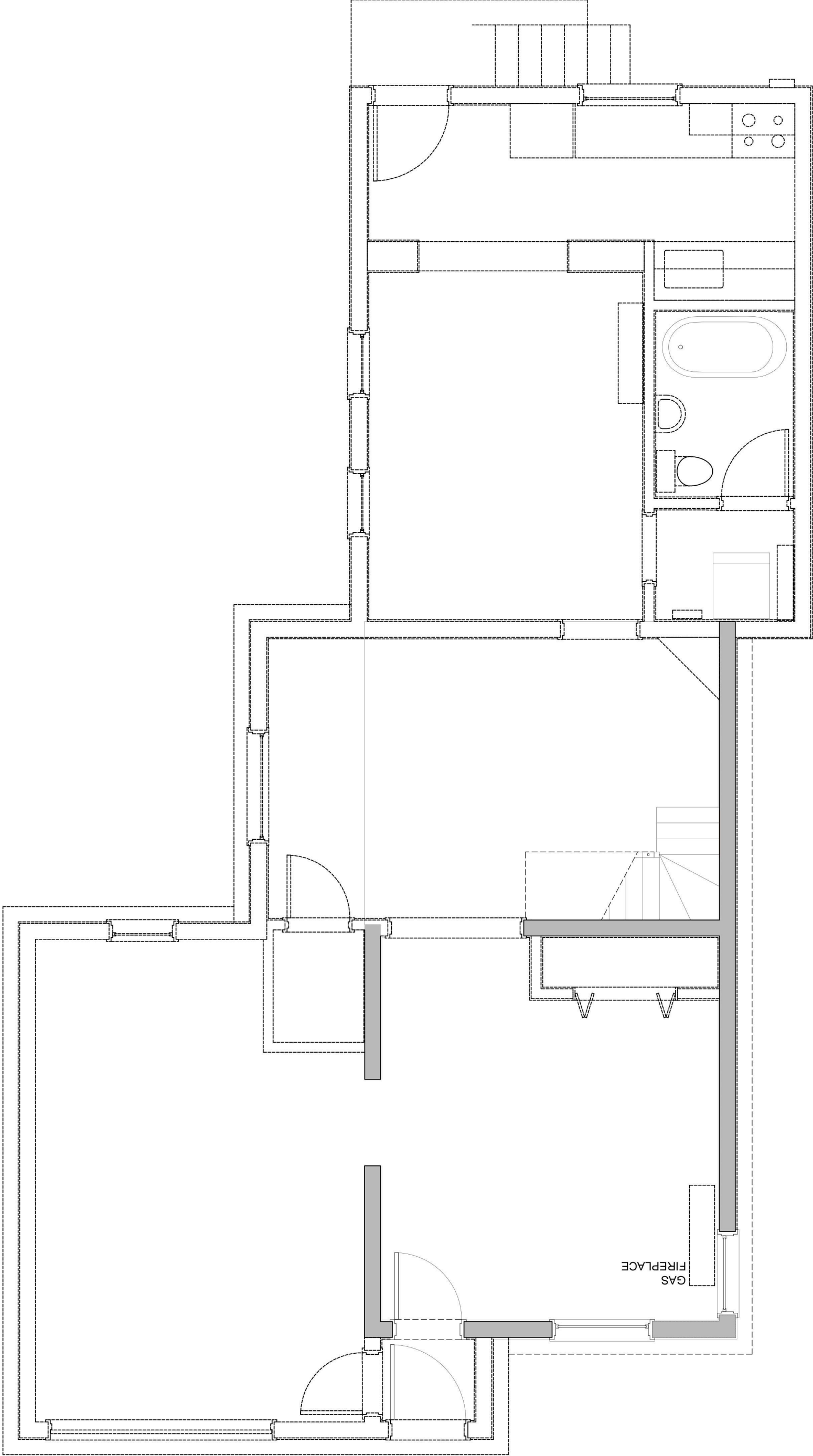


Figure 13: Building Addition Diagram



139 E. 9TH STREET		EXISTING BUILDING	A-002
MARCH 3, 2022			
Project Number	21-008	Scale N.T.S.	



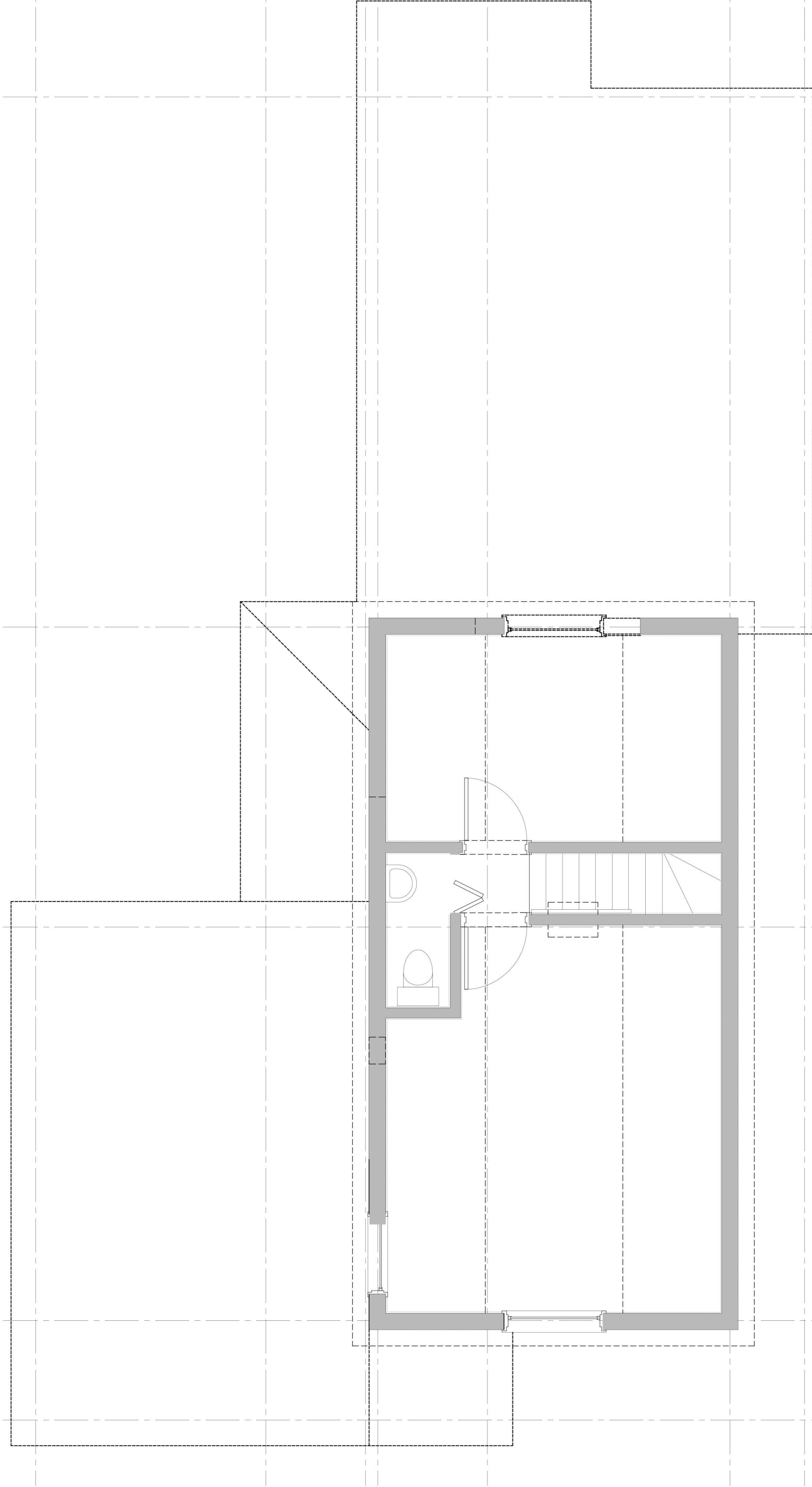
**DRAWING
AGENCY**

form + works
design group, LLC

139 E. 9TH STREET		EXISTING FIRST FLOOR PLAN		A-003
Project Number	21-008		MARCH 3, 2022	Scale
			N.T.S.	

DRAWING
AGENCY

form + works
design group, LLC



139 E. 9TH STREET

MARCH 3, 2022

EXISTING SECOND
FLOOR PLAN

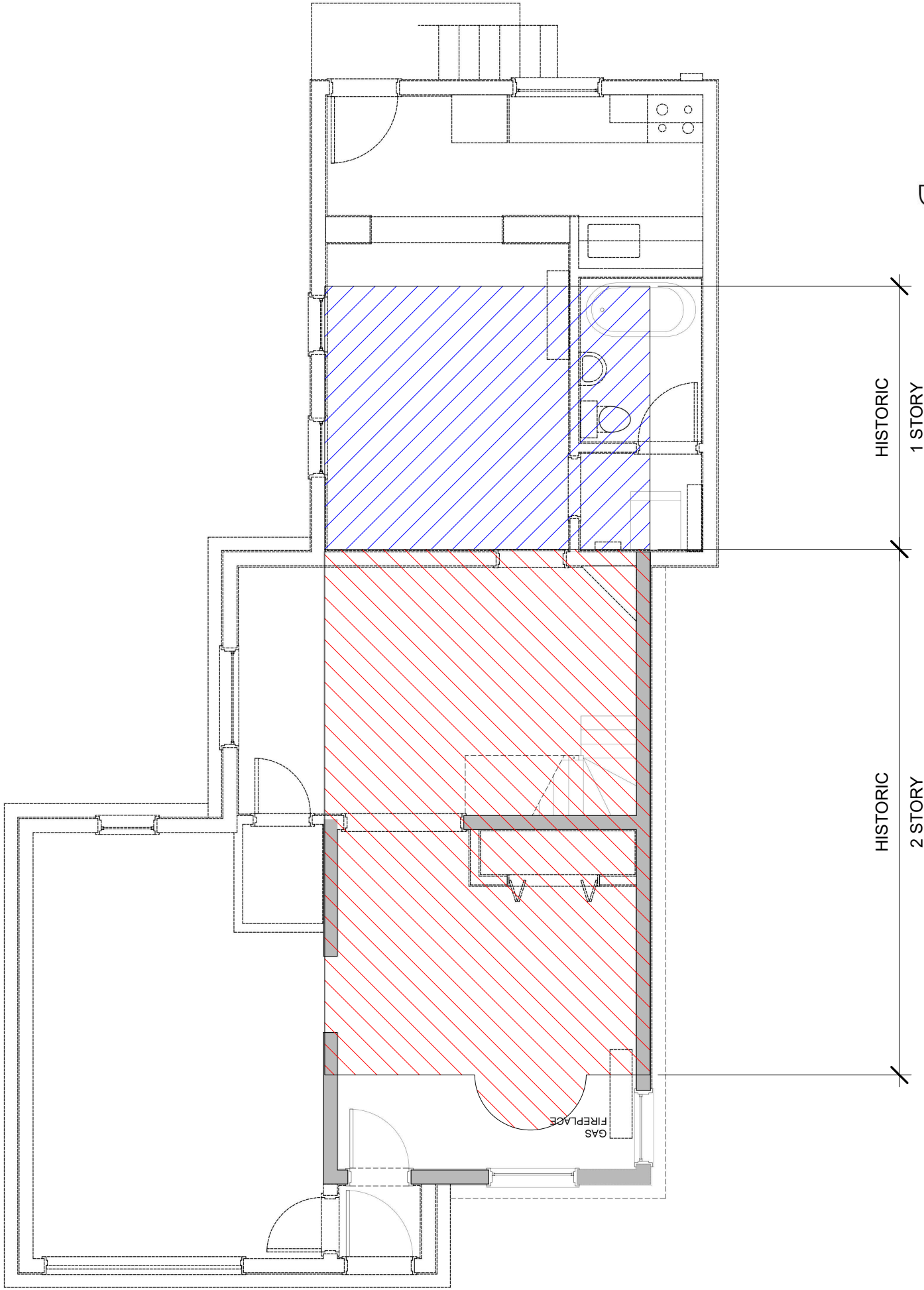
A-004

Project Number

21-008

Scale

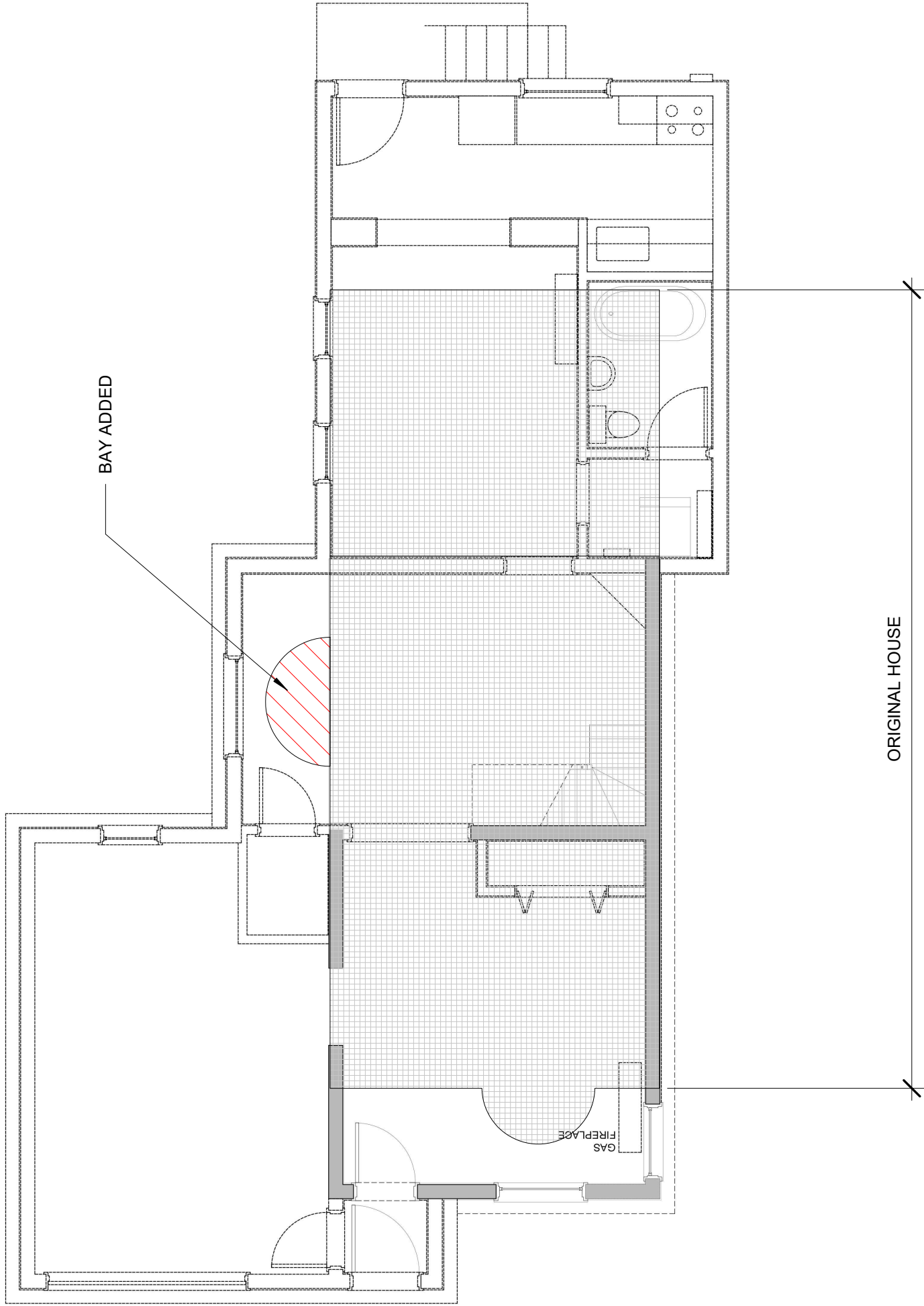
N.T.S.



form + works
design group, LLC

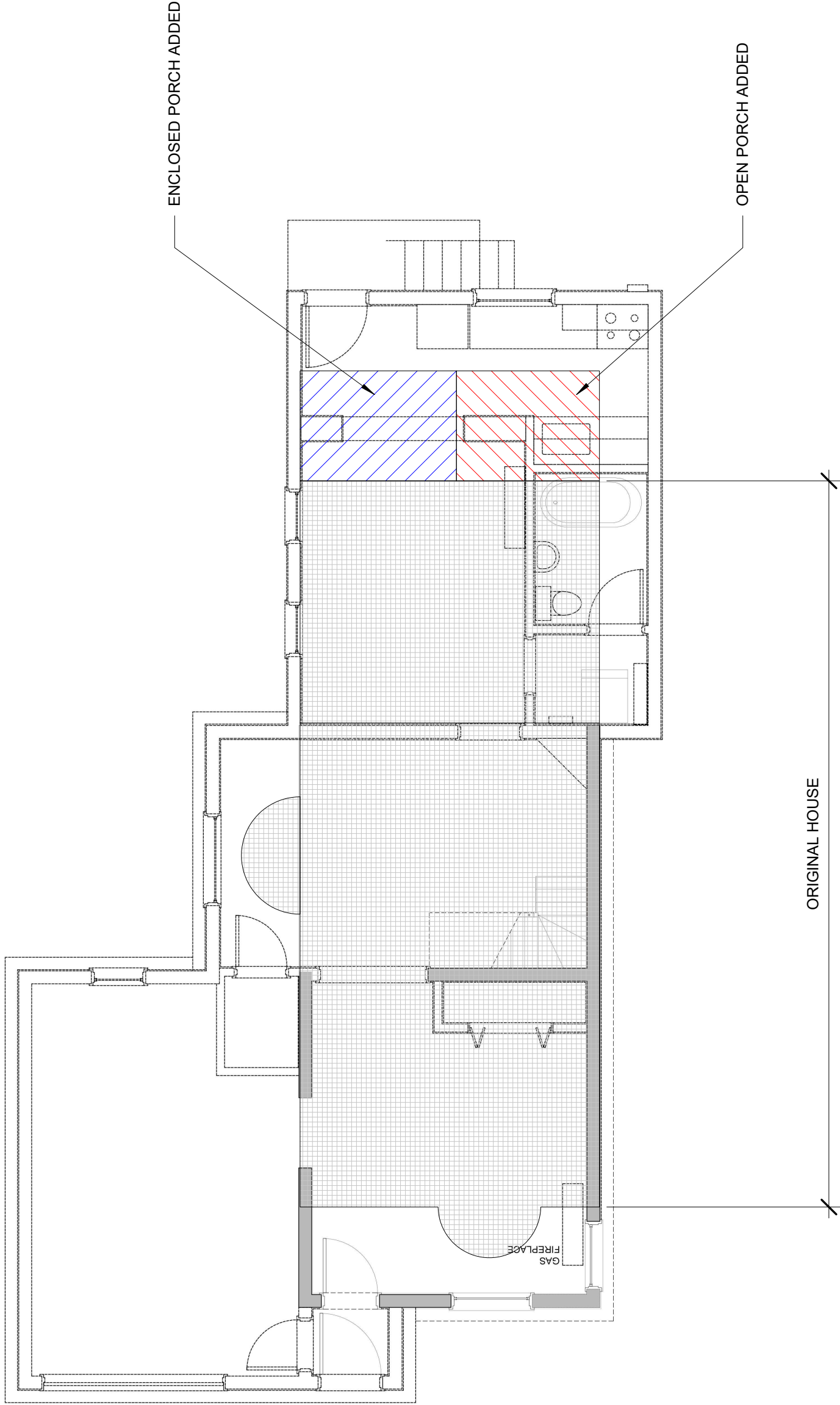
139 E. 9TH STREET		EXISTING BUILDING		A-005
Project Number		1883		
		MARCH 3, 2022		
21-008		Scale		N.T.S.

DRAWING
AGENCY



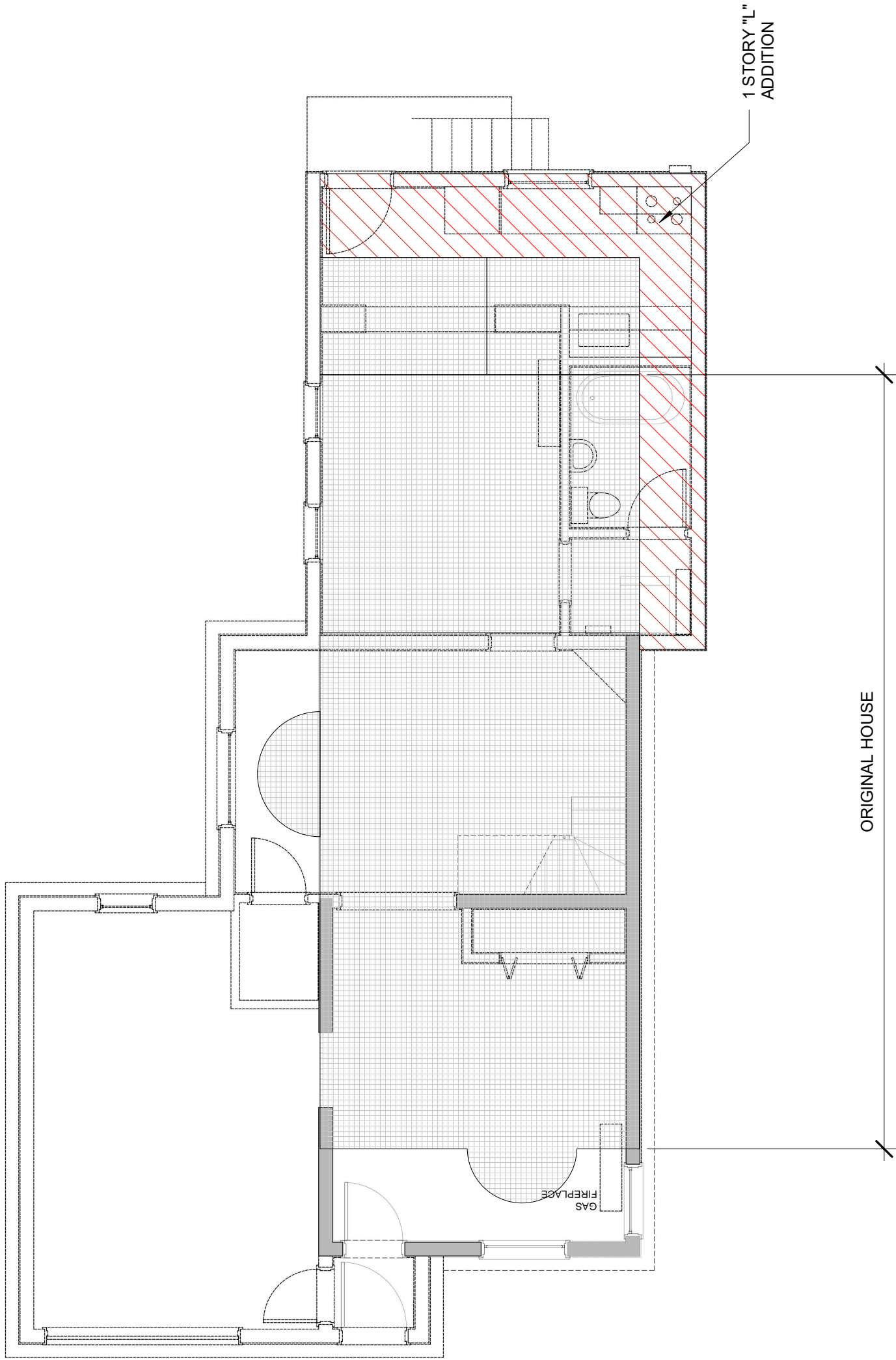
form + works
design group, LLC

139 E. 9TH STREET	MARCH 3, 2022	EXISTING BUILDING	A-006
	Scale	1886	
Project Number	21-008		



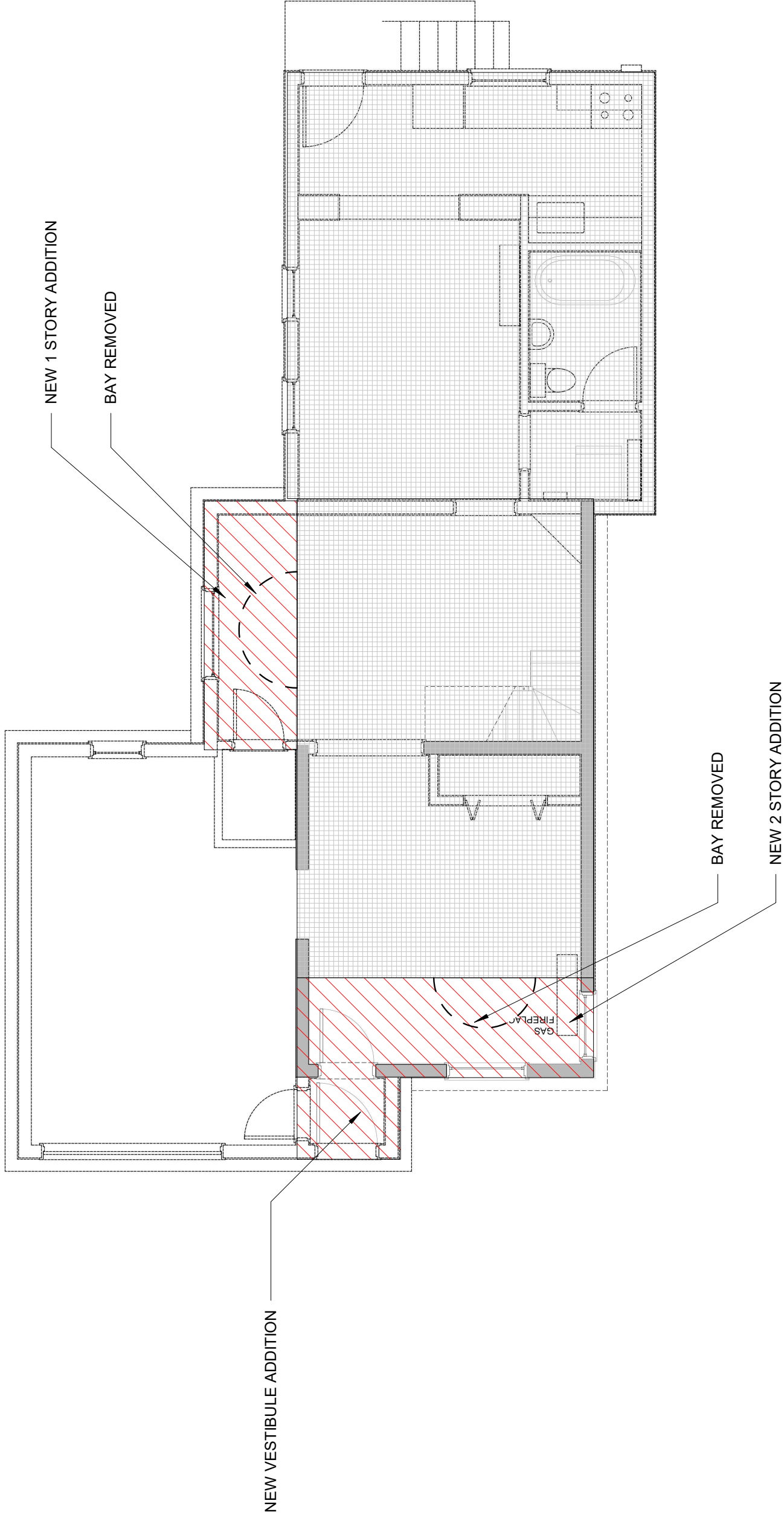
139 E. 9TH STREET	EXISTING BUILDING		A-007
	MARCH 3, 2022	1889	
Project Number	Scale	N.T.S.	
		21-008	

DRAWING
AGENCY



form + works
design group, LLC

139 E. 9TH STREET	MARCH 3, 2022	EXISTING BUILDING	A-008
	Scale	1895	
Project Number	21-008		



139 E. 9TH STREET

MARCH 3, 2022

EXISTING BUILDING

A-009

Project Number

21-008

Scale

N.T.S.

1937

LINE OF NEW ADDITION VISIBLE AT EXTERIOR

FRONT 2 STORY ADDITION



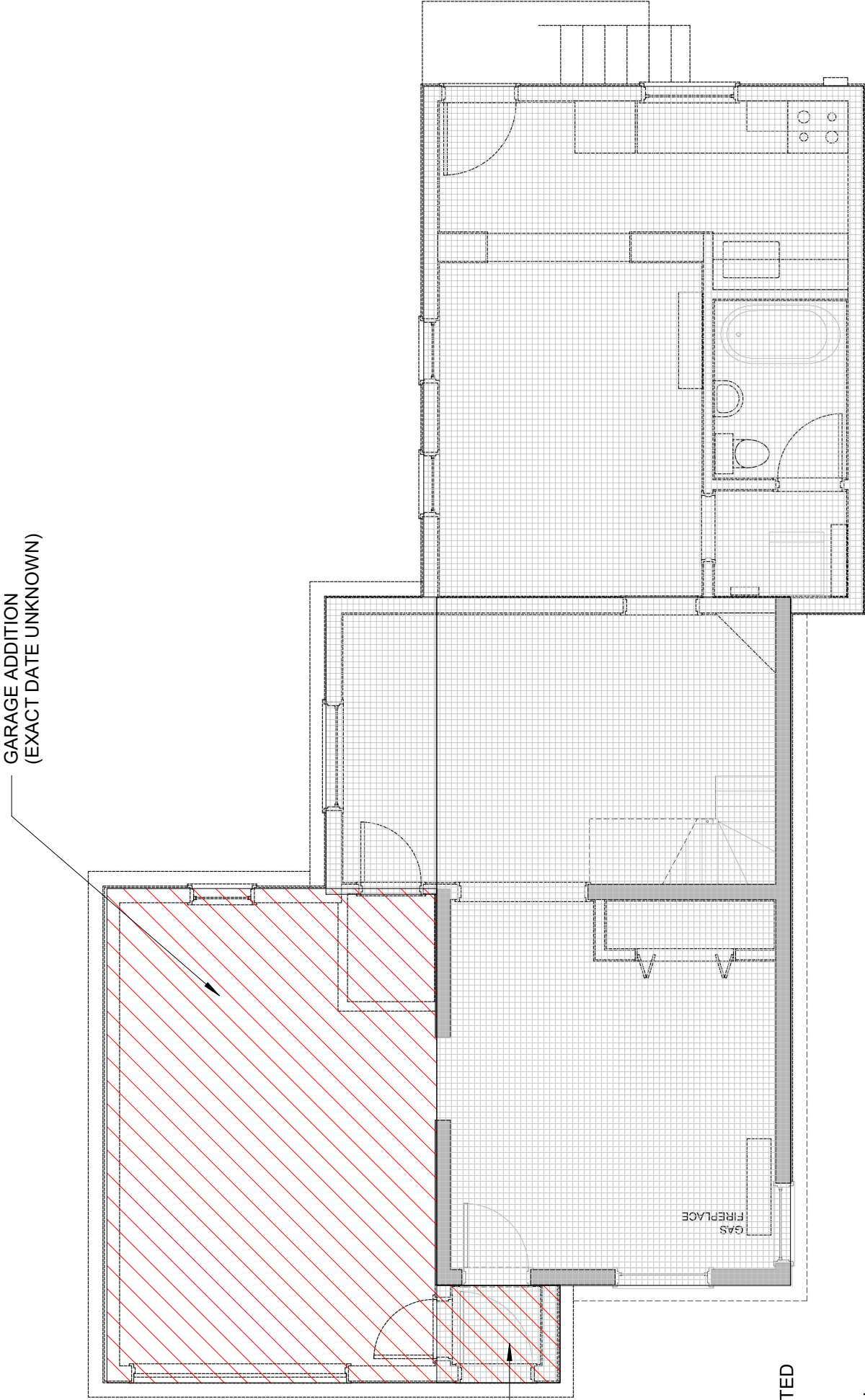
1 PHOTO - ADDITION LINE EAST
N.T.S.



2 PHOTO - ADDITION LINE WEST
N.T.S.



139 E. 9TH STREET		MARCH 3, 2022	PRE-1937 ADDITIONS PHOTO	A-010
Project Number 21-008		Scale N.T.S.		



VESTIBULE: UNKNOWN IF PRE-1937
VESTIBULE WAS RETAINED OR IF IT WAS RECONSTRUCTED
POST-1937

THE ROOF FRAMING AND THE SIDING
SUGGESTS THE GARAGE AND VESTIBULE ARE INTEGRAL.
THEREFORE IT WAS LIKELY RECONSTRUCTED
OR PERHAPS THE ROOF WAS RECONSTRUCTED.



139 E. 9TH STREET		EXISTING BUILDING AFTER 1937		A-011
Project Number	21-008		MARCH 3, 2022	Scale
			N.T.S.	



1 PHOTO - NORTH WEST
N.T.S.

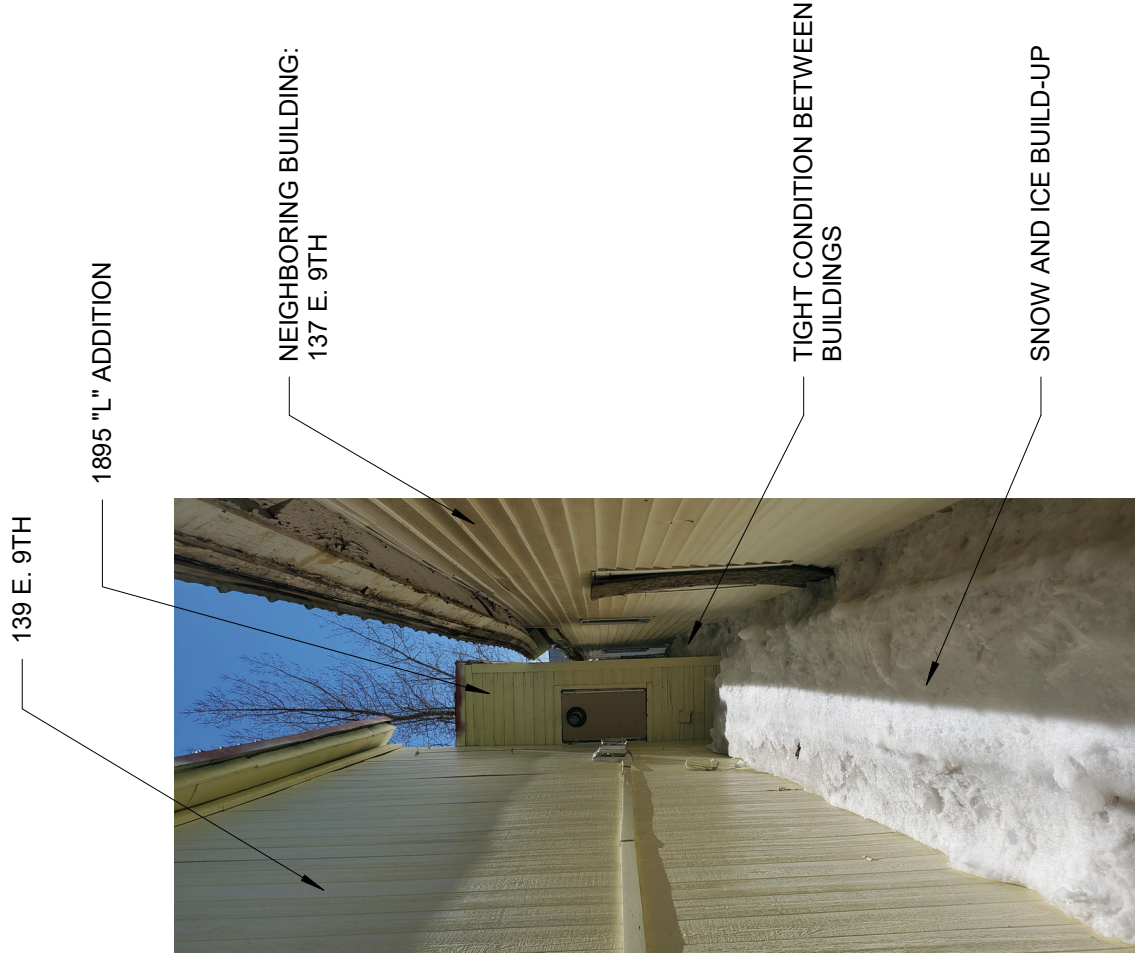


2 PHOTO - SOUTHWEST
N.T.S.

DRAWING
AGENCY

form + works
design group, LLC

139 E. 9TH STREET		MARCH 3, 2022	EXISTING CONDITION PHOTOS	A-013
Project Number	21-008	Scale	N.T.S.	



1 PHOTO - WEST PROPERTY LINE
2 N.T.S.

DRAWING
AGENCY



2 PHOTO - SOUTH ADDITION
2 N.T.S.

form + works
design group, LLC

139 E. 9TH STREET		MARCH 3, 2022	EXISTING CONDITION PHOTOS	A-014
Project Number	21-008	Scale	N.T.S.	

LOW SLOPING 1-STORY ROOF IN POOR CONDITION



1 PHOTO - SOUTH ELEVATION
N.T.S.

139 E. 9TH STREET		MARCH 3, 2022	EXISTING CONDITION	A-015
Project Number	21-008	Scale	PHOTOS	
		N.T.S.		



SNOW SITS ON LOW-SLOPING ROOF
OF ADDITION AND GARAGE

POST 1937 GARAGE ADDITION

GARAGE ADDITION SHIFTING AWAY
FROM MAIN HOUSE

1937 EAST ADDITION



ELK MOUNTAIN SNOWMOBILE
AND ATV BUILDING

SNOW AND ICE BUILD-UP
BETWEEN BUILDINGS

GARAGE ADDITION (POST 1937)

1 PHOTO - EAST ADDITION
N.T.S.

2 PHOTO - EAST SIDE OF GARAGE
N.T.S.

DRAWING
AGENCY

form + works
design group, LLC

139 E. 9TH STREET		EXISTING CONDITION PHOTOS		A-016
Project Number	21-008		Scale	MARCH 3, 2022
				N.T.S.

SAVE AND LIFT
ORIGINAL BUILDING.

BUILDING WILL BE
TEMPORARILY SHORED
WITH NEW FRAMING FOR
STABILITY. DETERIORATED
WOOD FRAMING WILL
BE REPLACED IN KIND.

NEW STRUCTURAL
SISTERING WILL BE
INSTALLED TO BOLSTER
HISTORIC STRUCTURE

2 NEW SECOND FLOOR PLAN
NOT TO SCALE

NEW ADDITION SET BACK
FROM HISTORIC FACADE
TO BE SUBORDINATE

RECONSTRUCT ENTRY
VESTIBULE FOR
STRUCTURAL STABILITY

SAVE AND LIFT ORIGINAL
BUILDING.

INSTALL NEW
FOUNDATION BELOW
HISTORIC STRUCTURE
AND NEW ADDITION

DRAWING
AGENCY

1 NEW FIRST FLOOR PLAN
NOT TO SCALE

NEW ADDITION WILL ALIGN WITH HISTORIC WALL
IN ORDER TO PROVIDE MORE SPACE BETWEEN
ADJACENT HOUSE WALL

form + works
design group, LLC

139 E. 9TH STREET

Project Number

21-008

MARCH 3, 2022

Scale NOT TO SCALE

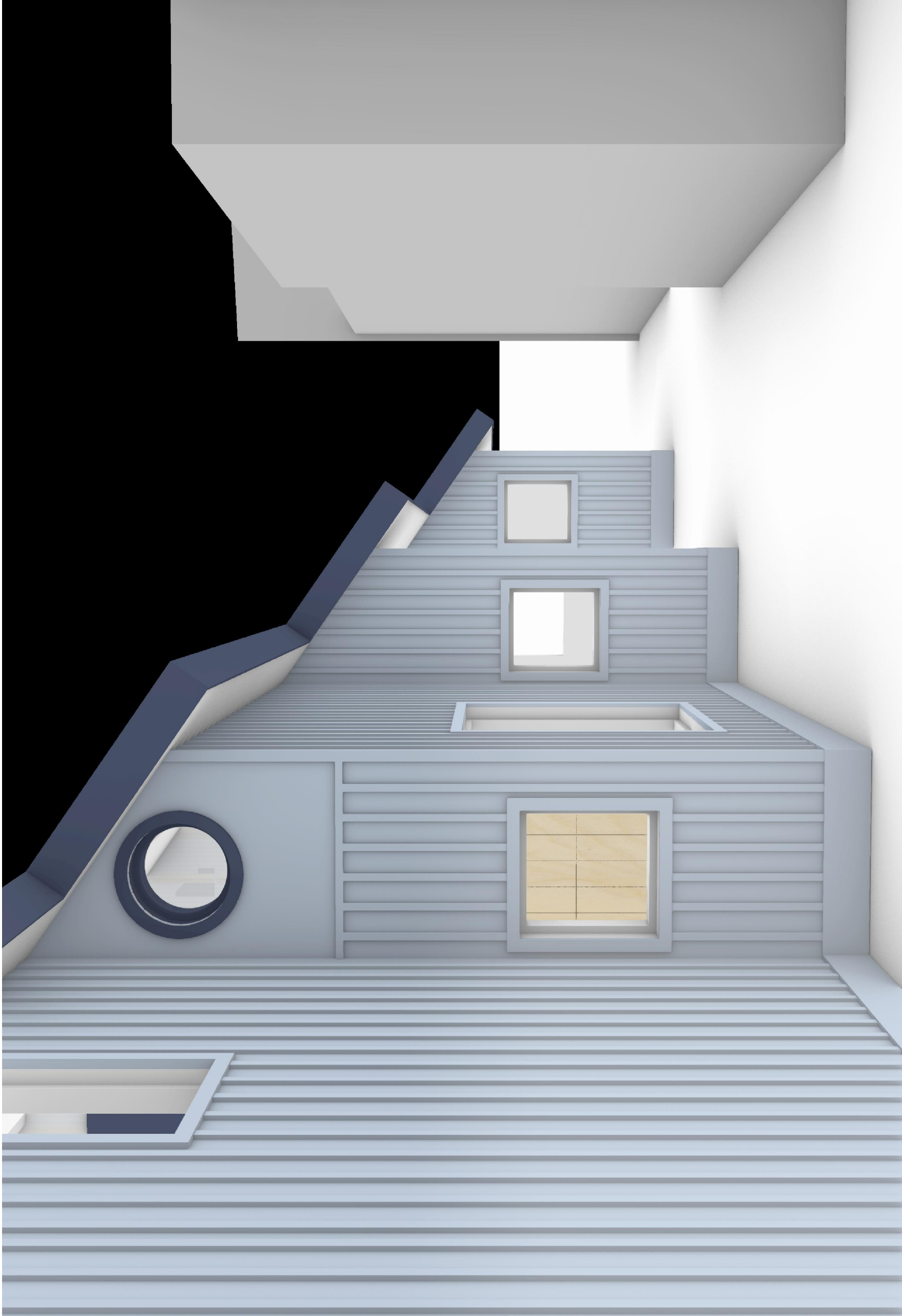
NEW FLOOR PLANS
ILLUSTRATED

A-017

[illegible]

DRAWING AGENCY

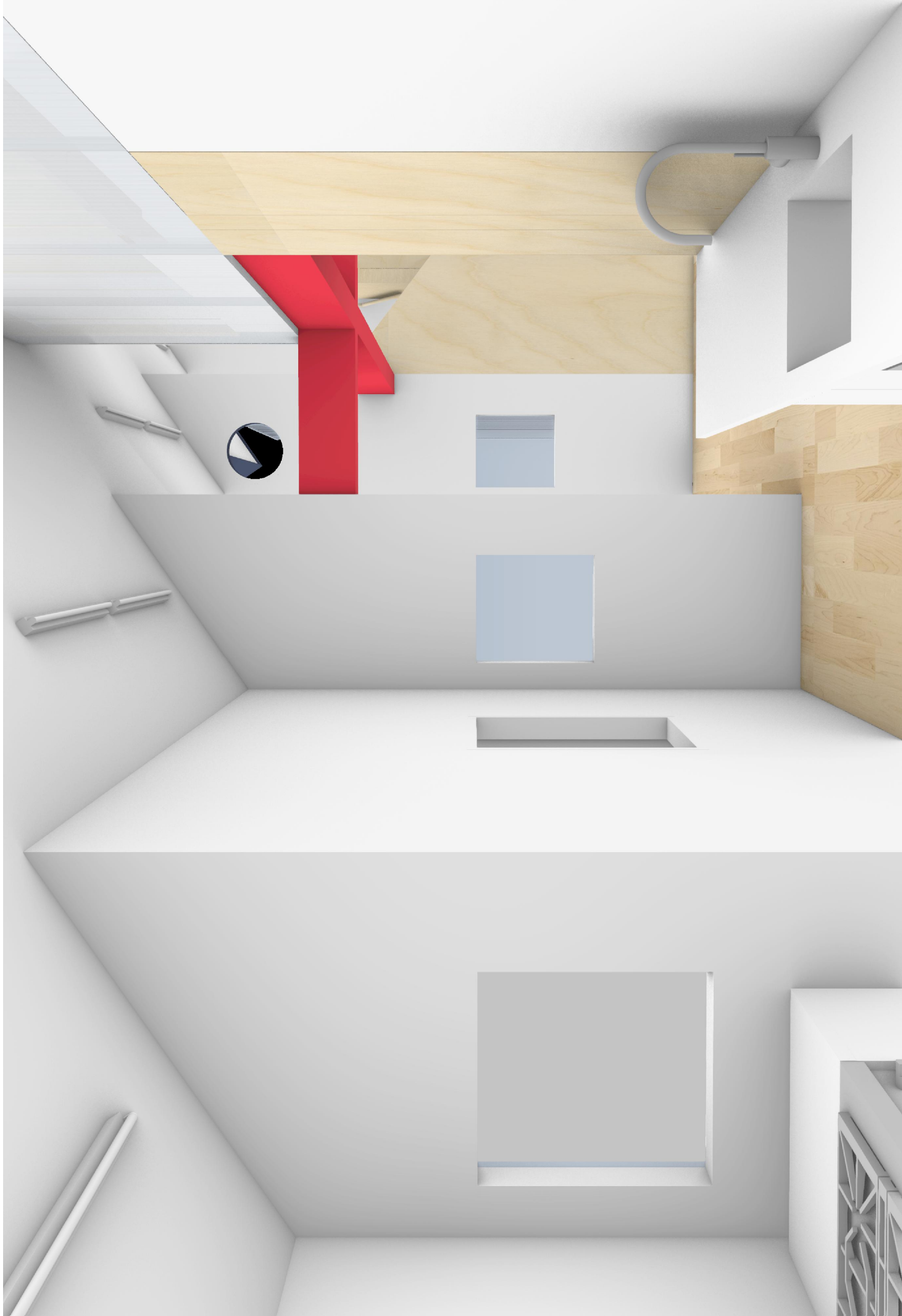
NOT FOR CONSTRUCTION



Rear Yard Perspective



9th Street Facade



Kitchen Perspective



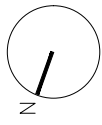
Living Room Perspective

IAN MINOZ + SOPHIE REISE, OWNERS	DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>	
GALEN PARDEE, DESIGNER	DATE
<p>PROJECT:</p> <p>LEADVILLE HOUSE ADDITION</p> <p>139 East 9th Street Leadville, CO 80461</p> <p>INTERIOR, EXTERIOR PERSPECTIVES</p>	
SEAL & SIGNATURE	<p>DATE: 01/16/22</p> <p>PROJECT No.: 2015</p> <p>DRAWING BY: JRM</p> <p>CHECKED BY: GP</p> <p>DRAWING NUMBER:</p> <p>G-001.00</p> <p>CAD FILE No.: PAGE: 1 OF 4</p>

[illegible]

DRAWING AGENCY

NOT FOR CONSTRUCTION



IAN MUNOZ + SOPHIE RIEGL, OWNERS	DATE
	DATE
GALEN PARTEE, DESIGNER	DATE

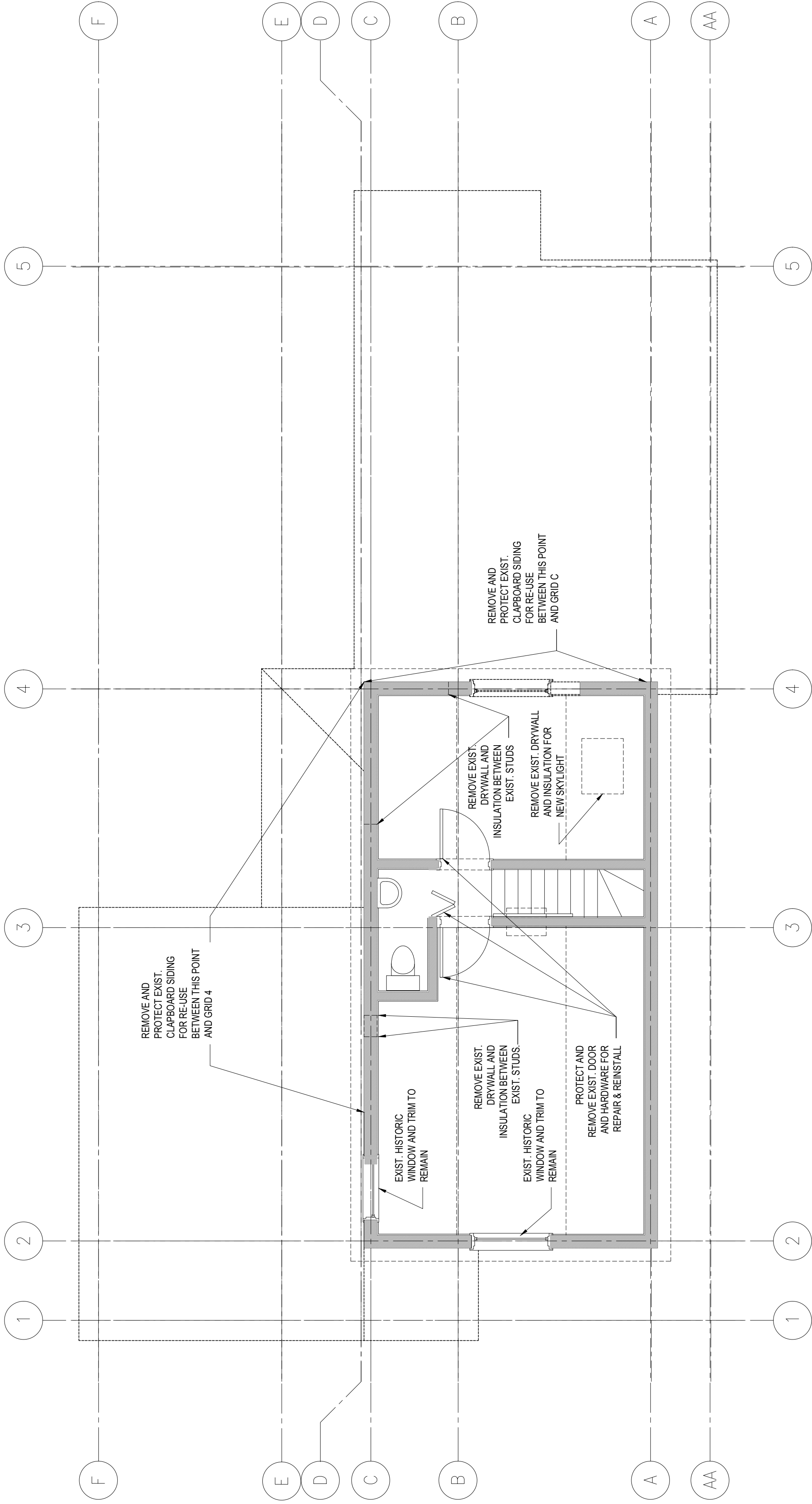
© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.

PROJECT: LEADVILLE HOUSE
ADDITION

139 East 9th Street
Leadville, CO 80461

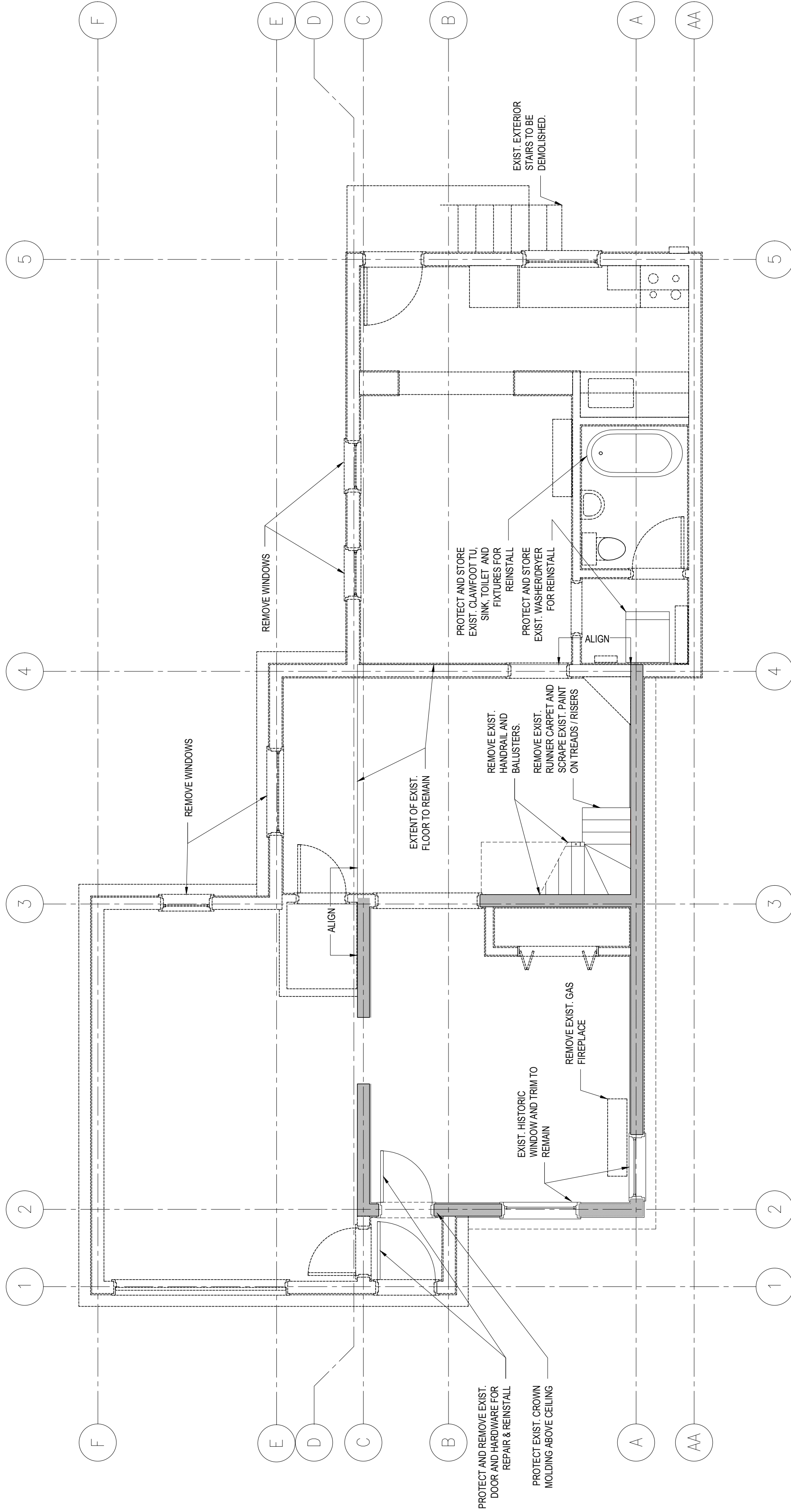
DEMOLITION PLANS

DATE:	01/10/22
PROJECT No:	2015
DRAWING BY:	
CHECKED BY:	GP
DRAWING NUMBER:	
A-001.00	
CAD FILE No.:	PAGE : 0f XX



Demolition Plan Second Floor

1/4" = 1'-0"



Demolition Plan First Floor

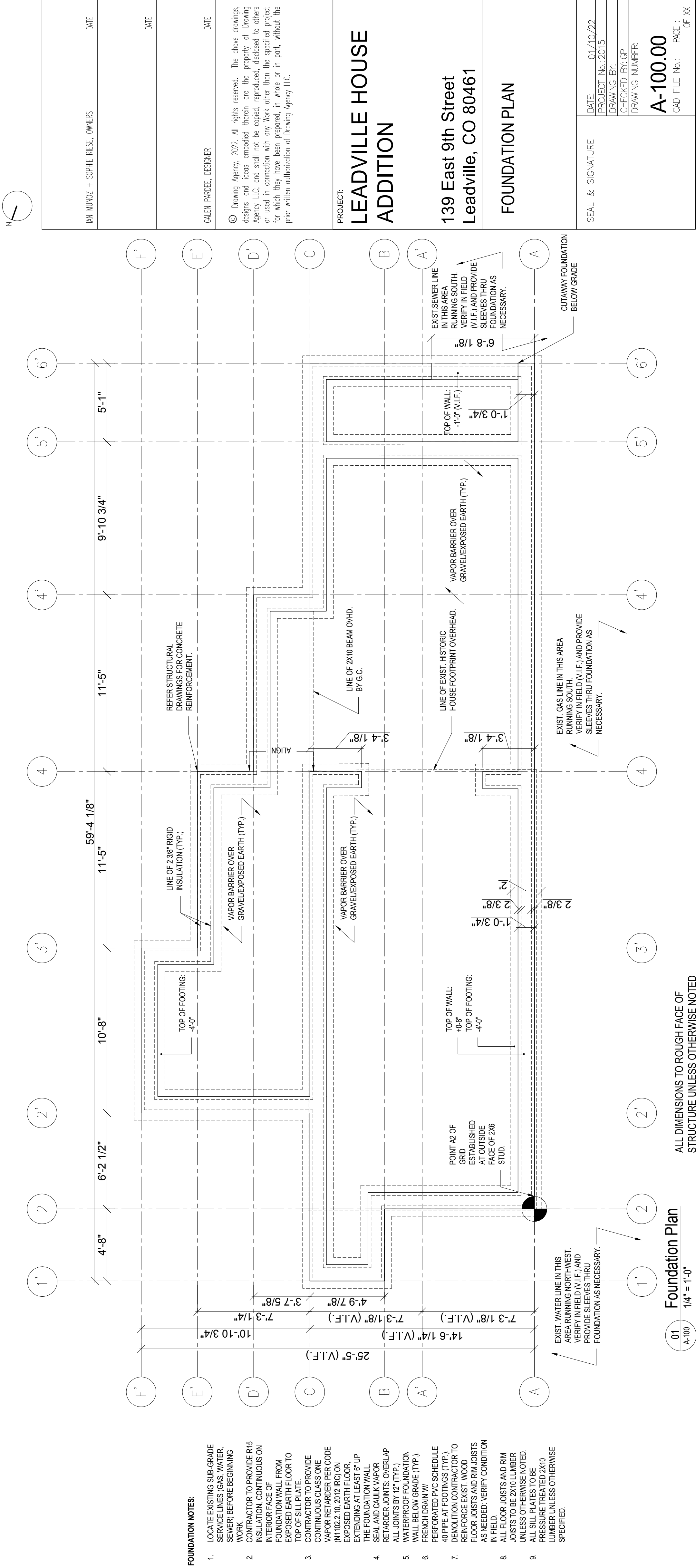
$$1/4'' = 1'-0''$$

DEMOLITION NOTES:

1. **EXIST. WOOD CLASPARD,
SINKING ON EAST AND SOUTH
PORTIONS OF HISTORIC CORE
STRUCTURE TO BE REMOVED,
PROTECTED AND STORED FOR
INSTALLATION IN NEW
LOCATIONS.**
2. **DEMOLITION CONTRACTOR TO
COORDINATE WITH
FOUNDATION CONTRACTOR TO
REPAIR EXISTING RIM JOISTS
AND SUBFLOOR STRUCTURE
BEFORE CONSTRUCTING NEW
FOUNDATIONS.**
3. **REMOVE ALL EXISTING
KITCHEN APPLIANCES.**
4. **REMOVE ALL ABANDONED
WIRING, ELECTRICAL FIXTURES,
ETC.**
5. **SCRAPE AND REMOVE ALL
INTERIOR AND EXTERIOR
PAINT.**
6. **WALL PAPER IN ROOMS TO BE
REMOVED PER ARCHITECTS
DIRECTION.**

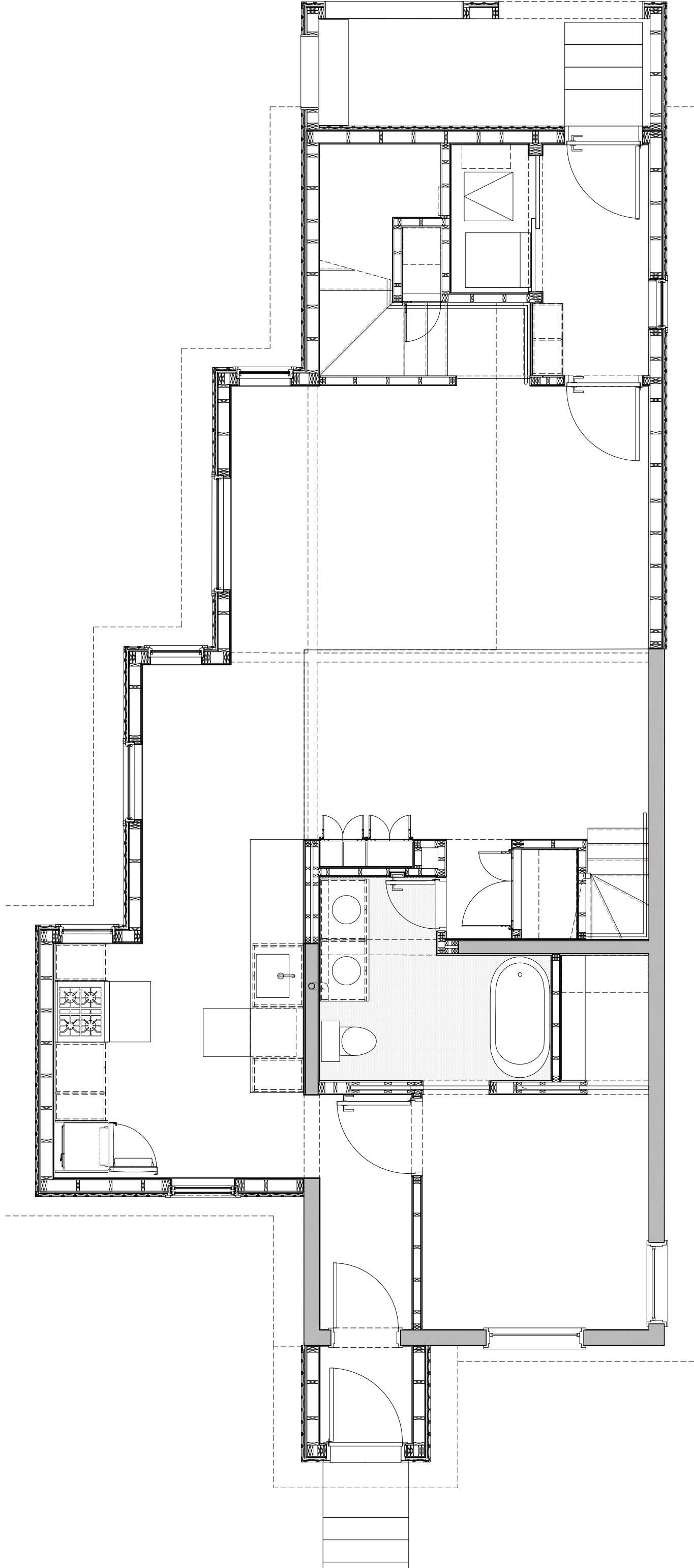
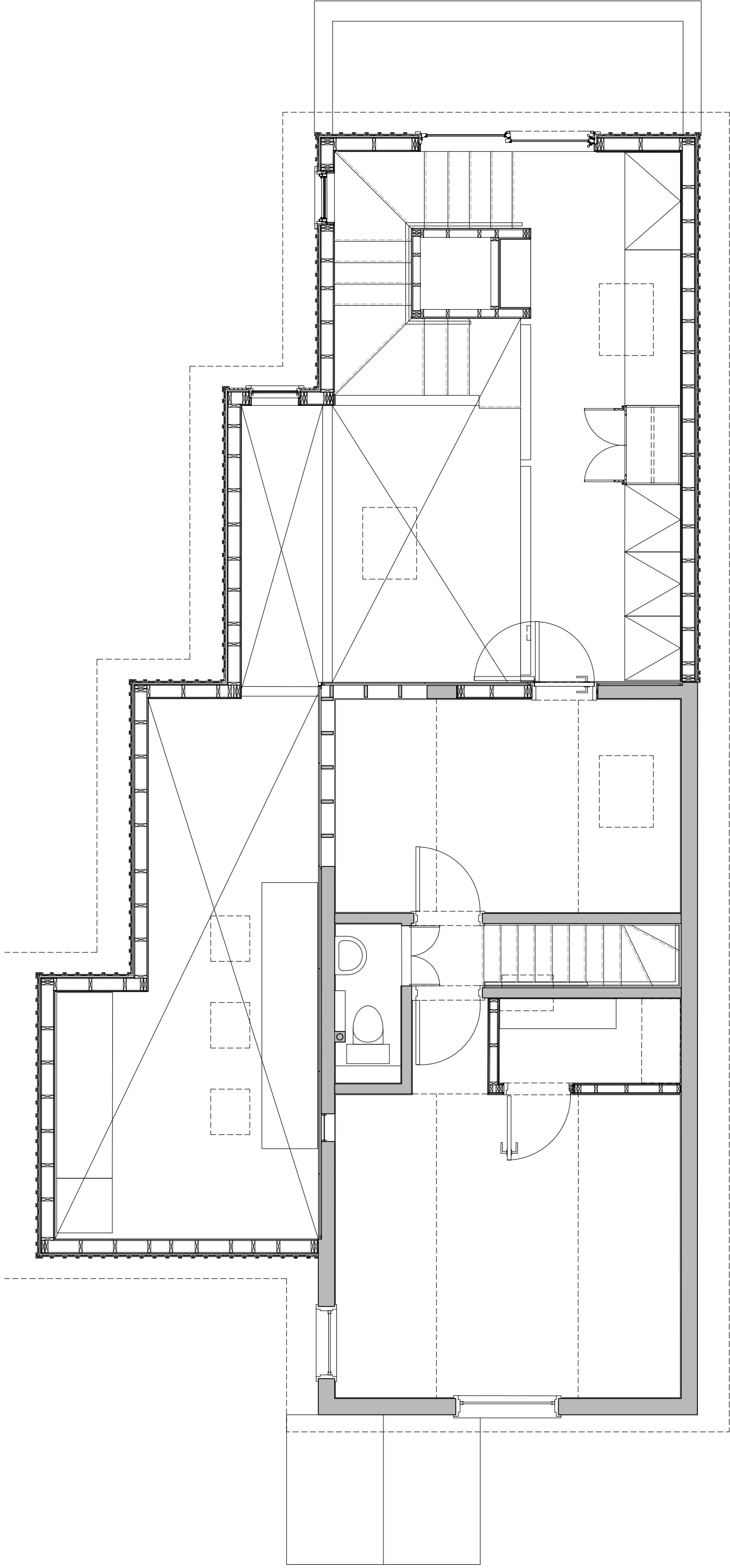
[illegible]

NOT FOR
CONSTRUCTION



NO.	REVISIONS	DATE

NO.	TO WHOM	ISSUED	DATE



© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or otherwise used in any manner without the prior written consent of Drawing Agency LLC. These drawings are prepared for the project described herein and are not to be used for any other project without the prior written authorization of Drawing Agency LLC.

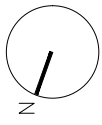
LEADVILLE HOUSE

[illegible]

05	GPC REVIEW SET	2/27/22
04	FOUNDATION DEMO BID SET	2/23/22
03	GPC REVIEW SET DRAFT	2/14/22
02	FOUNDATION BID SET	1/28/22
01	WORKING SET 01	1/13/22
NO.	TO WHOM ISSUED	DATE



NOT FOR
CONSTRUCTION



IAN WINOZ & SOPHIE RIESE, OWNERS	DATE
	DATE
GALEN PARDEE, DESIGNER	DATE

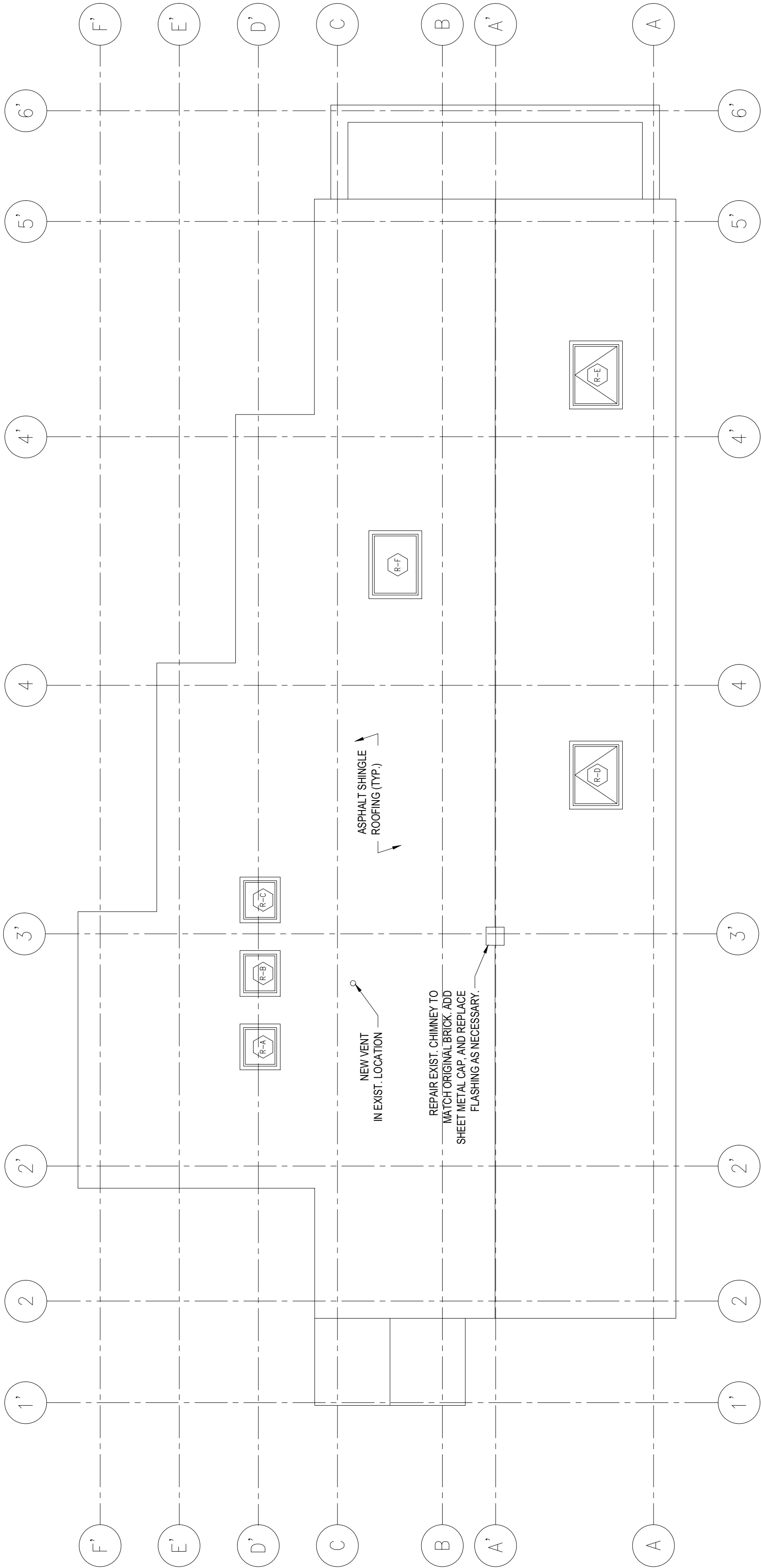
© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.

PROJECT: LEADVILLE HOUSE
ADDITION

139 East 9th Street
Leadville, CO 80461

ROOF PLAN, WALL TYPES, SCHEDULES

DATE:	01/10/22
PROJECT No.:	2015
DRAWING BY:	
CHECKED BY:	GP
DRAWING NUMBER:	
A-102.00	
CAD FILE No.:	PAGE : 1
	OF 11



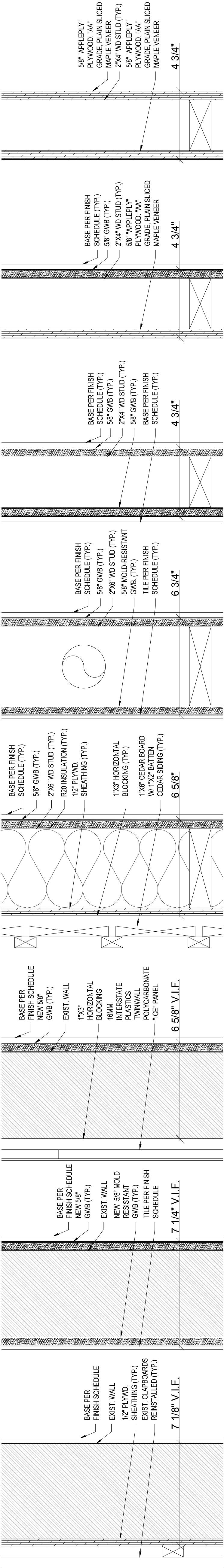
01
A-102

ALL DIMENSIONS TO ROUGH FACE OF
STRUCTURE UNLESS OTHERWISE NOTED

PLUMBING ACCESSORIES SCHEDULE									
KEY	DESCRIPTION	EXG	NEW	QTY	LOCATION	RM#	MFR	MODEL#	NOTES
BF-1	BATHROOM FAUCET SET			X	2	MASTER BATH	0105	HANSGRÖHE 31060001	POLISHED CHROME FINISH
	BATHROOM SINK			X	2	MASTER BATH	0105	TBD	-
BS-1						MASTER BATH			EXIST. CLAW-FOOT TUB, PROTECT AND REINSTALL
BT-1	BATH/TUB SINK			X	1	MASTER BATH	0105	-	-
BV-1	BATHROOM SINK			X	1	M	0202	-	EXIST. SINK TO REMAIN
FS-1	KITCHEN FAUCET SET			X	1	KITCHEN	0106	GROHE	TALS N, "D-TYPE" SPOUT
KS-1	KITCHEN SINK			X	1	KITCHEN	0106	TBD	-
SA-1	SHOWER ARM			X	1	BATH	1512	-	EXIST. ARM, PROTECT AND REINSTALL
SC-1	SHOWER CONTROL			X	1	MASTER BATH	1512	-	EXIST. CONTROL, PROTECT AND REINSTALL
SH-1	SHOWER HEAD			X	1	MASTER BATH	1512	HANSGRÖHE 04388000	POLISHED CHROME FINISH
TF-1	TUB SPOUT			X	1	MASTER BATH	1512	HANSGRÖHE 14413001	EXIST. SPOUT, PROTECT AND REINSTALL
TL-1	TOILET			X	1	MASTER BATH	0105	-	EXISTING TOILET, PROTECT AND REINSTALL
TL-2	TOILET			X	1	M	0202	-	EXISTING TOILET

ACCESSORY SCHEDULE									
KEY	DESCRIPTION	EXG	NEW	QTY.	LOCATION	RM #	MFR.	MODEL#	NOTES
WD-1	WASTE DRAWER		X	1	KITCHEN KITCHEN/MASTER BATH	0106	REV-A-SHELF	5349-1527DM-2	
PL-1	CABINET PULL		X	1	MASTER BATH	0106, 0105	HAEELE	103-20.444	6" SATIN CHROME FINISH 115BR75
CR-1	CURTAIN ROD		X	1	MASTER BATH	0105	MOEN	CS195-5	POLISHED CHROME FINISH
TB-1	TOWEL BAR		X	3	MASTER BATH	0105	NAMEKES	NFA016	POLISHED CHROME FINISH
TB-2	TOWEL BAR		X	1	BATHROOM	0202	-	-	EXIST. TOWEL BAR.
TP-1	TOILET PAPER HOLDER		X	1	MASTER BATH	0105	NAMEKES	NCD76	POLISHED CHROME FINISH.
TP-2	TOILET PAPER HOLDER		X	1	BATHROOM	0202	-	-	EXIST. TOILET PAPER HOLDER.
MR-1	VANITY		X	2	MASTER BATH	0105	TBD BY CLIENT	-	VANITY W/ INTEGRATED LIGHT
MR-2	VANITY		X	1	MASTER BATH	0105	TBD BY CLIENT	-	VANITY W/ INTEGRATED LIGHT
MR-3	VANITY		X	1	BATHROOM	0202	-	-	EXIST. VANITY MIRROR

EQUIPMENT SCHEDULE									
KEY	DESCRIPTION	EXG	NEW	QTY	LOCATION	RW#	MFR.	MODEL#	NOTES
MW-1	MICROWAVE		X	1	KITCHEN	0106	TBD		-
RG-1	RANGE	X		1	KITCHEN	0106	FRIGIDAIRE	FGH9054U.S	-
RG-1	RANGE HOOD	X		1	KITCHEN	0106	TBD		-
RH-1	REF-1	X		1	KITCHEN	0106	SUMMIT	FFB2465S	-
DE-1	REF-1	X		1	KITCHEN	0106	FRIGIDAIRE	FFD2426TS	-
DE-1	DISHWASHER	X		1	KITCHEN	0106	FRIGIDAIRE	FFB2426TS	-
									RIGHT-HAND HINGES
									STAINLESS STEEL FINISH

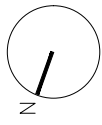


<p>EXIST. WALL</p> <p>EXIST. EXT. WALL W/ NEW CLADDING BOTH SIDES.</p>	<p>EXIST. WALL</p> <p>EXIST. EXT. WALL, W/ NEW POLYCARB. CLADDING.</p>	<p>NEW WALL</p> <p>NEW EXT. WALL W/ BOARD AND BATTEN CLADDING.</p>	<p>NEW INT. PARTITION, WATER RESISTANT GWB.</p>	<p>NEW INT. PARTITION W/ GWB BOTH SIDES.</p>	<p>NEW INT. PARTITION W/ PLYWOOD ONE SIDE.</p>	<p>NEW INT. PARTITION W/ PLYWOOD BOTH SIDES.</p>
1A	1B	2	3	4A	4B	4C

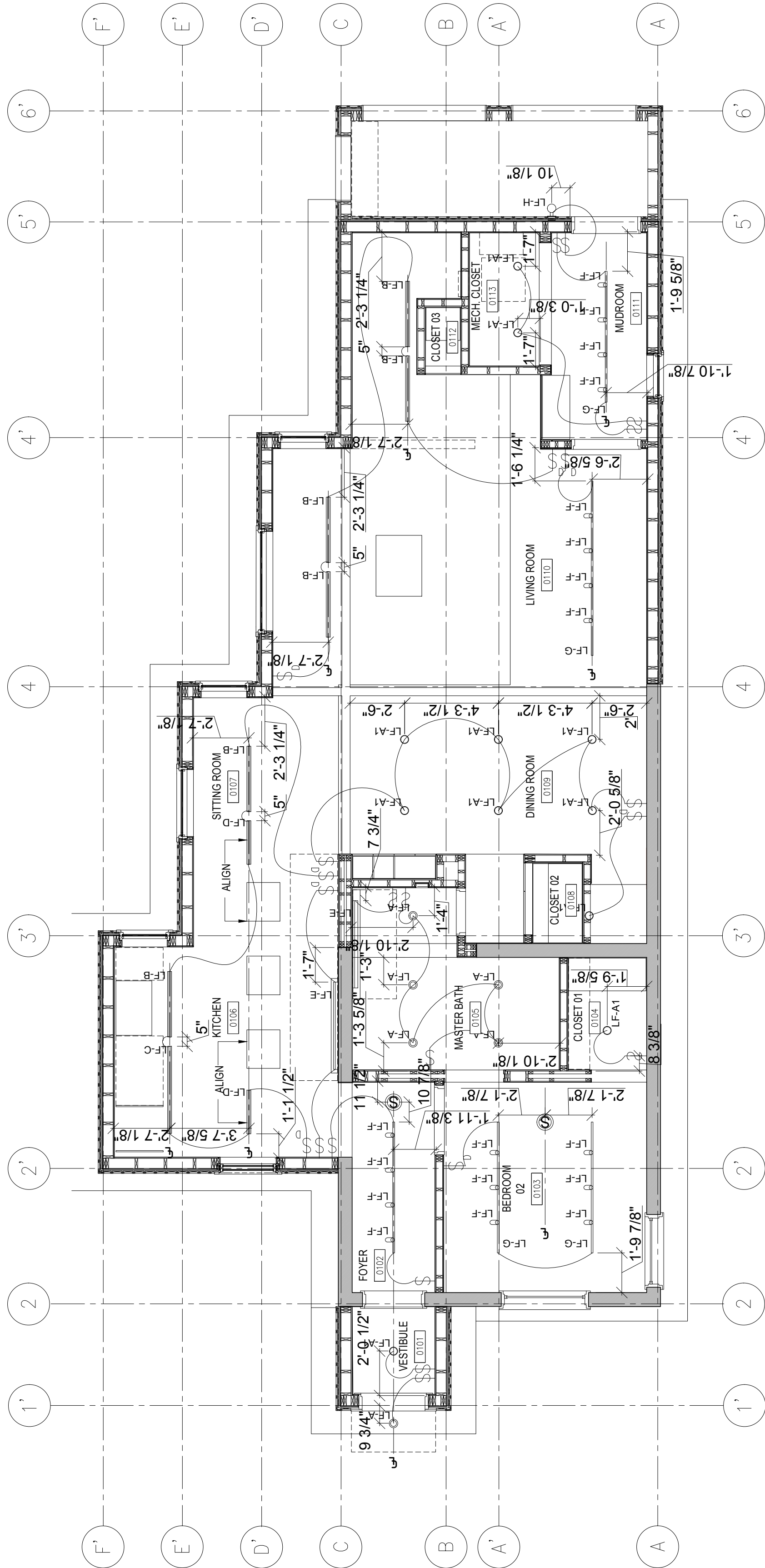
[illegible]

DRAWING AGENCY

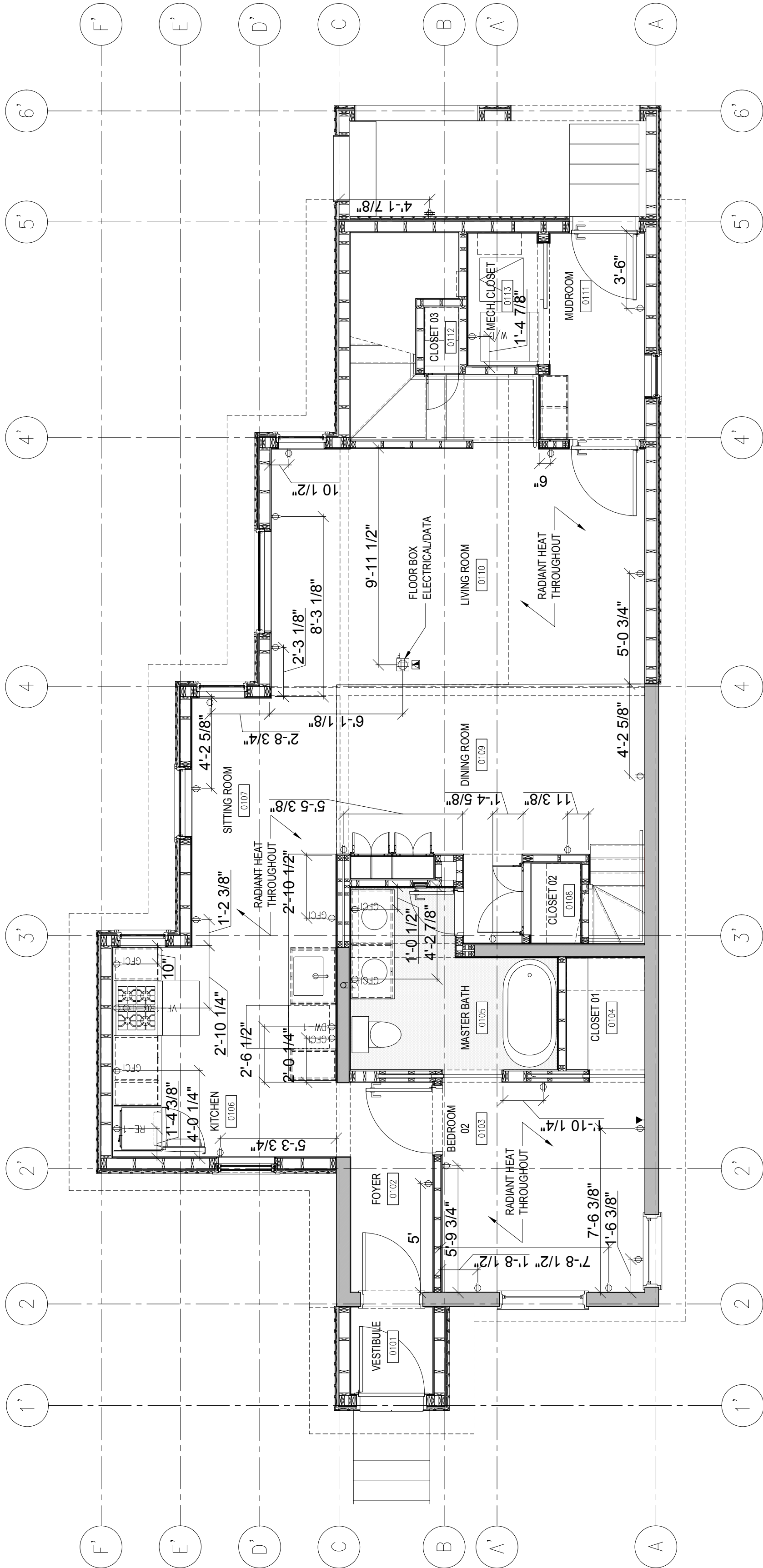
NOT FOR CONSTRUCTION



IAN MINUZ + SOPHIE RIESE, OWNERS	DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>	
GALEN PARLEE, DESIGNER	DATE
<p>PROJECT:</p> <p>LEADVILLE HOUSE ADDITION</p> <p>139 East 9th Street Leadville, CO 80461</p> <p>FIRST FLOOR ELECTRICAL PLAN, REFLECTED CEILING PLAN</p>	
SEAL & SIGNATURE	<p>DATE: 01/10/22</p> <p>PROJECT No.: 2015</p> <p>DRAWING BY:</p> <p>CHECKED BY: GP</p> <p>DRAWING NUMBER:</p> <p>A-103.00</p> <p>CAD FILE No.: PAGE : OF 8</p>



02 First Floor Reflected Ceiling Plan
A-103 1/4" = 1'-0"



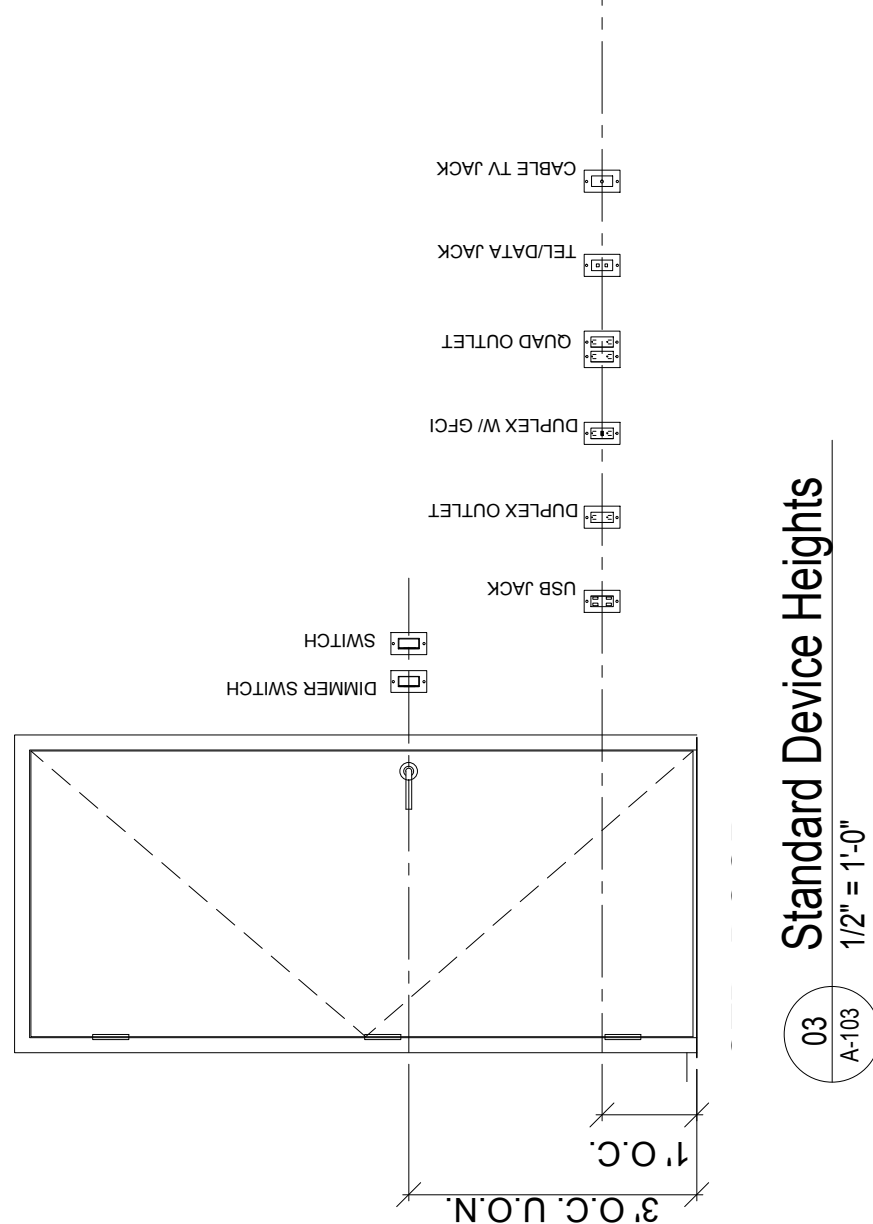
01

A-103

First Floor Electric Plan

1/4" = 1'-0"

ALL DIMENSIONS TO ROUGH FACE OF
STRUCTURE UNLESS OTHERWISE NOTED

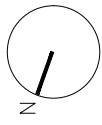


LIST OF FIXTURES	COUNT	SYMBOL
WAS COUNCIL 3.5' LED DAMP RATED	7	U-EA
UPTONVIEW 3'0" STRIP LIGHT W/ 18 LED TUBE LAMP	13	U-EA
UPTONVIEW 3'0" STRIP LIGHT W/ 18 LED TUBE LAMP	8	U-FB
UPTONVIEW 3'0" STRIP LIGHT W/ 18 LED TUBE LAMP	3	U-FB
UPTONVIEW 3'0" STRIP LIGHT W/ 18 LED TUBE LAMP	1	U-FB
UPTONVIEW 3'0" STRIP LIGHT W/ 18 LED TUBE LAMP	3	U-FB
ARTESIMIO BASIC STEP 36 WALL DIMMABLE	2	U-EF
WAS "COUNCIL 4' 4" LED DIMMABLE	32	U-FE
WAS 1" TYPE TRACK, LIGHT ENDS VARY	9	U-FE
WAS CALIBER 12 OUTDOOR WALL SCONCE	3	U-FH

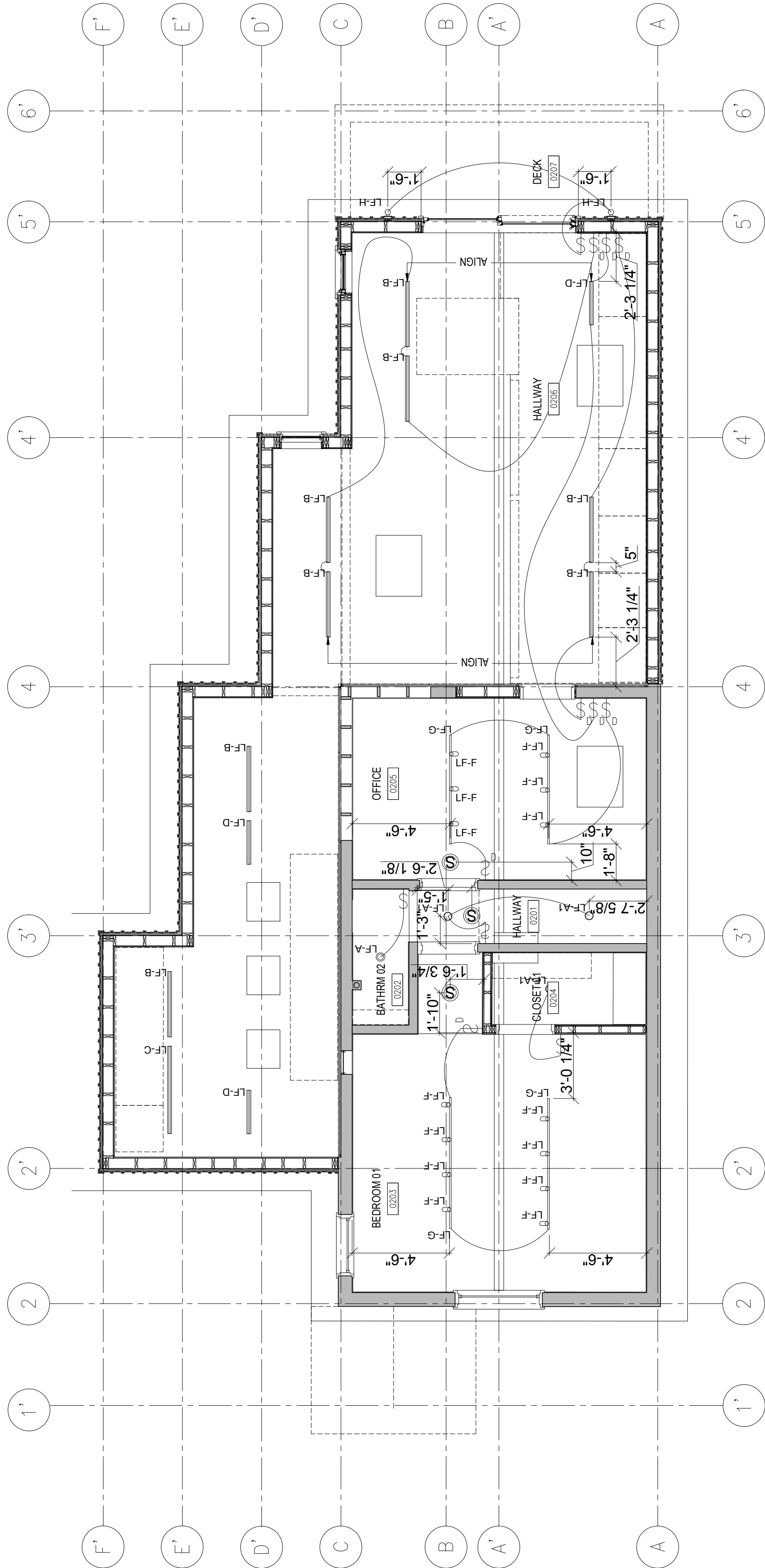
[illegible]

DRAWING AGENCY

**NOT FOR
CONSTRUCTION**



IAN MINUZ + SOPHIE RIESE, OWNERS		DATE
GALIN PAROLE, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
SECOND FLOOR REFLECTED CEILING PLAN, ELECTRICAL PLAN		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING E#: _____ CHECKED BY: GP DRAWING NUMBER: _____	A-104.00 CAD FILE No.: _____ PAGE : OF 8

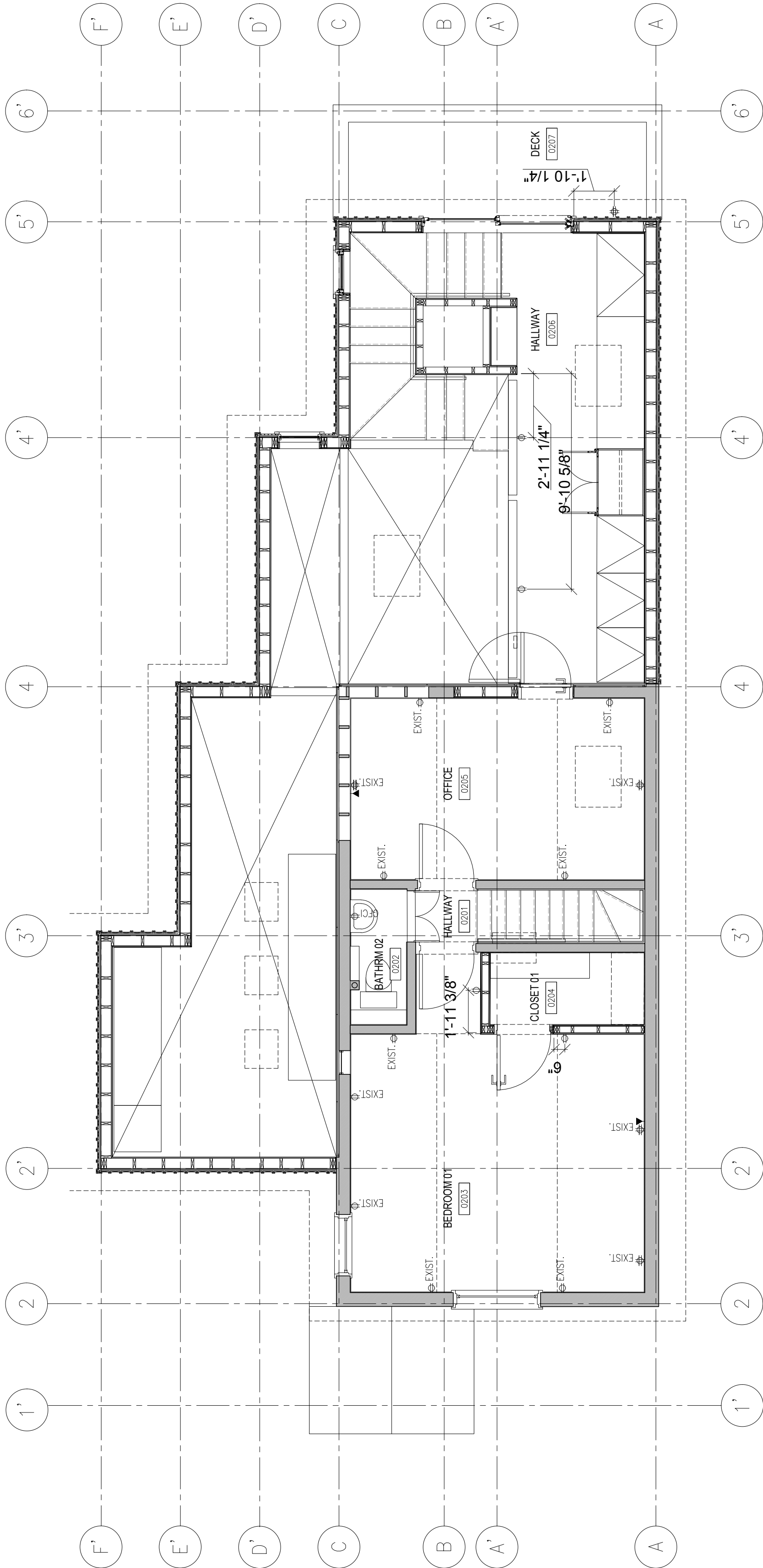


02
A-104

Second Floor Reflected Ceiling Plan

1/4" = 1'-0"

ALL DIMENSIONS TO ROUGH FACE OF
STRUCTURE UNLESS OTHERWISE NOTED



01
A-104

Second Floor Electrical Plan

1/4" = 1'-0"

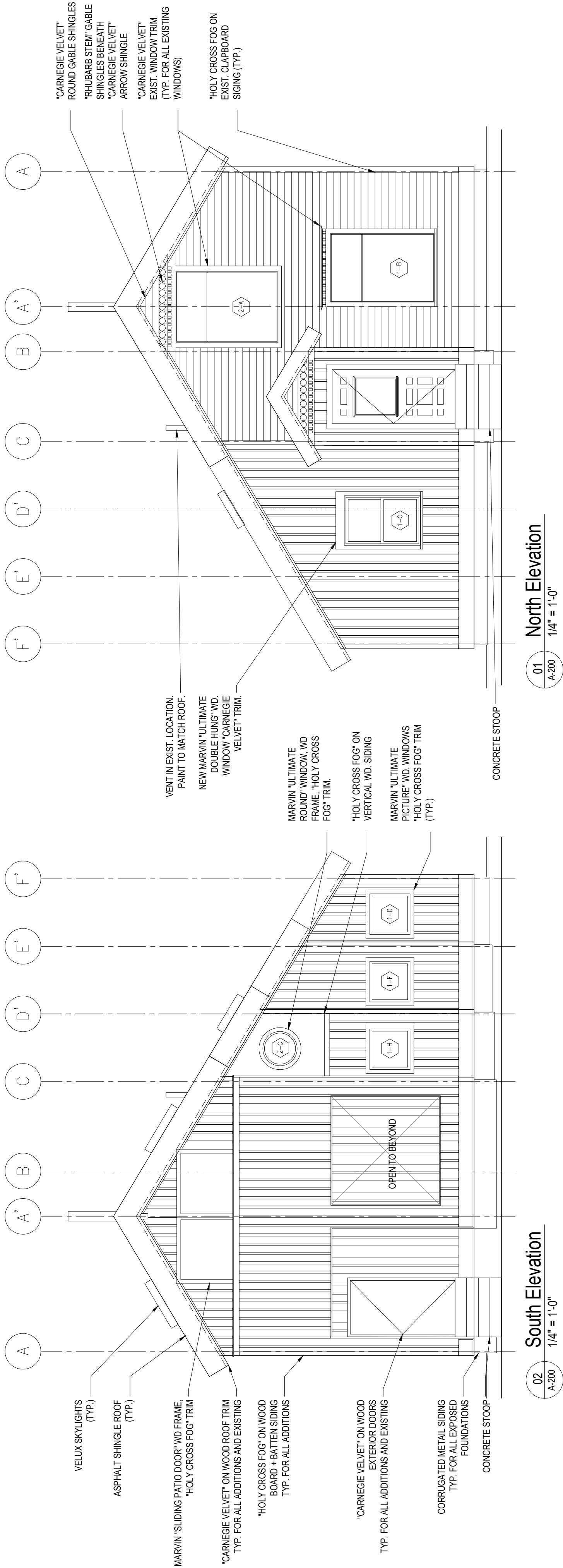
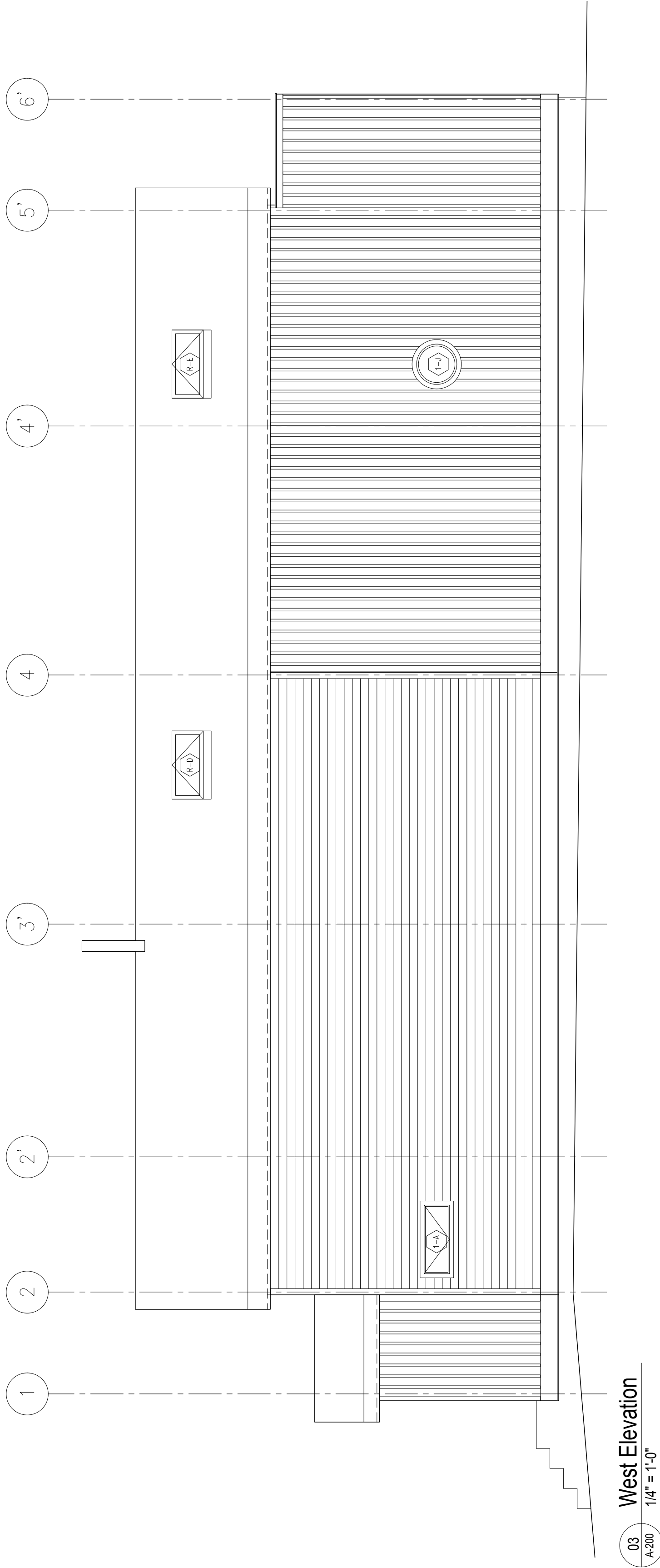
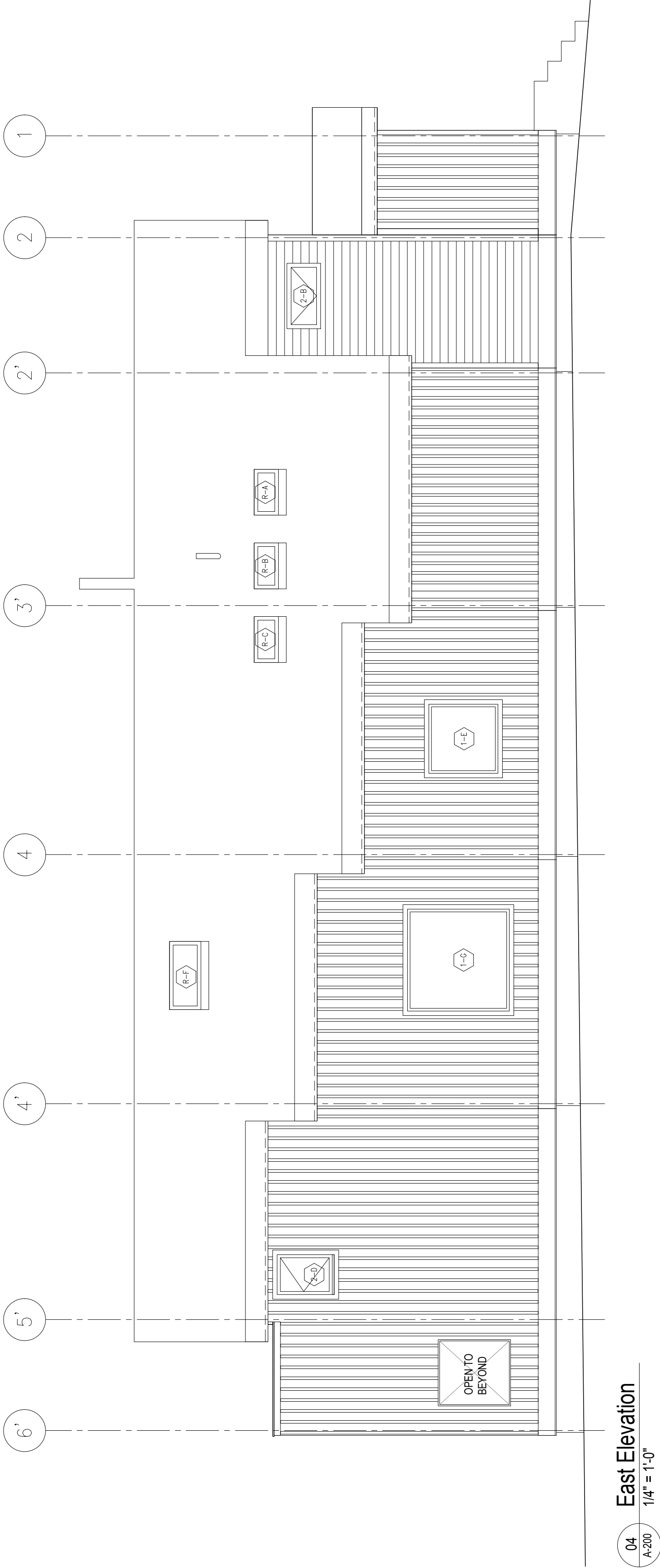
ALL DIMENSIONS TO ROUGH FACE OF
STRUCTURE UNLESS OTHERWISE NOTED

[illegible]

DRAWING AGENCY

NOT FOR CONSTRUCTION

IAN MINOZ + SOPHIE RIESE, OWNERS	DATE
GALEN PARDEE, DESIGNER	DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>	
PROJECT:	
<h1>LEADVILLE HOUSE ADDITION</h1>	
<p>139 East 9th Street Leadville, CO 80461</p>	
EXTERIOR ELEVATIONS	
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING BY: CHECKED BY: GP DRAWING NUMBER: <h2>A-200.00</h2>
	OAD FILE No.: PAGE : OF

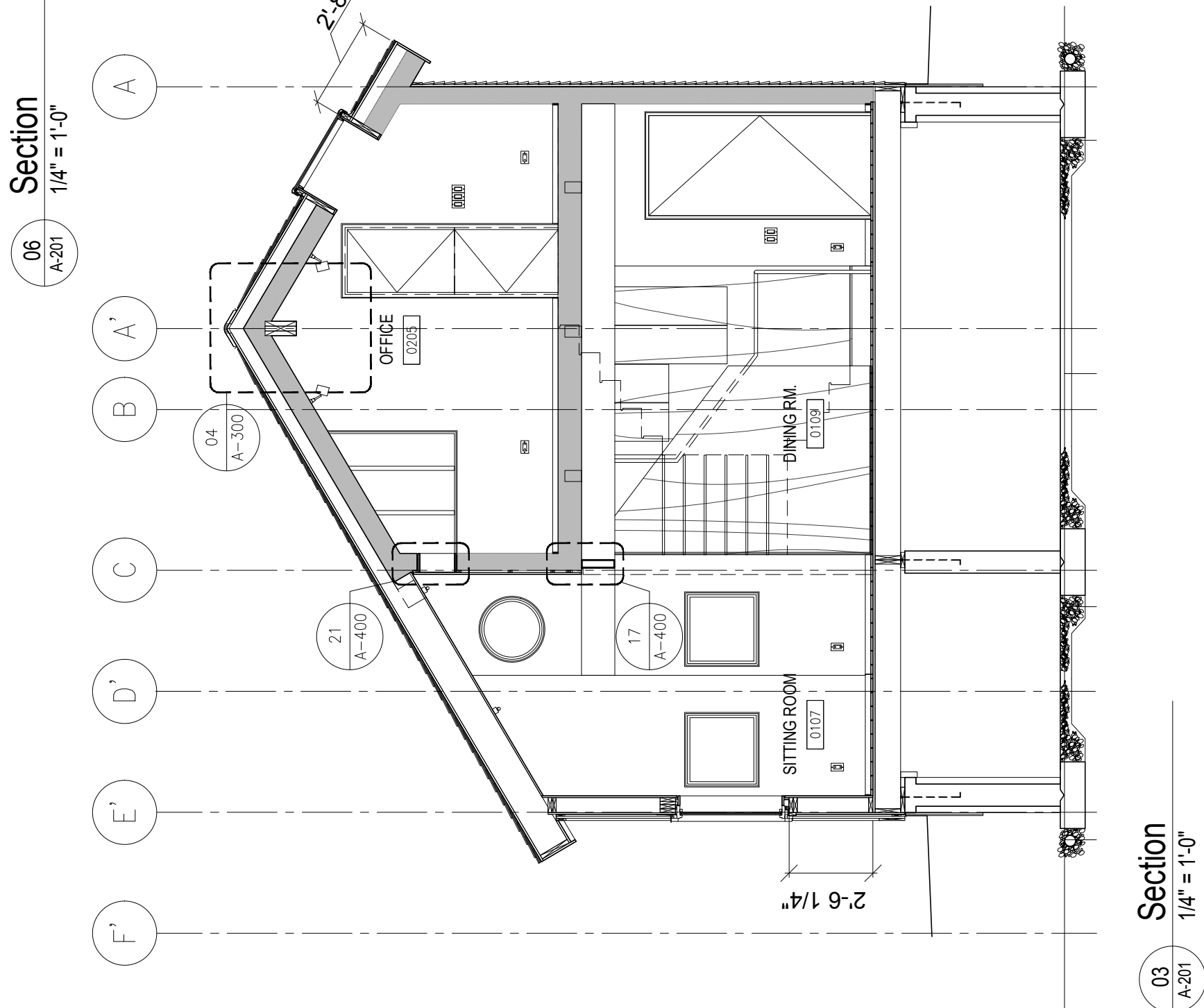
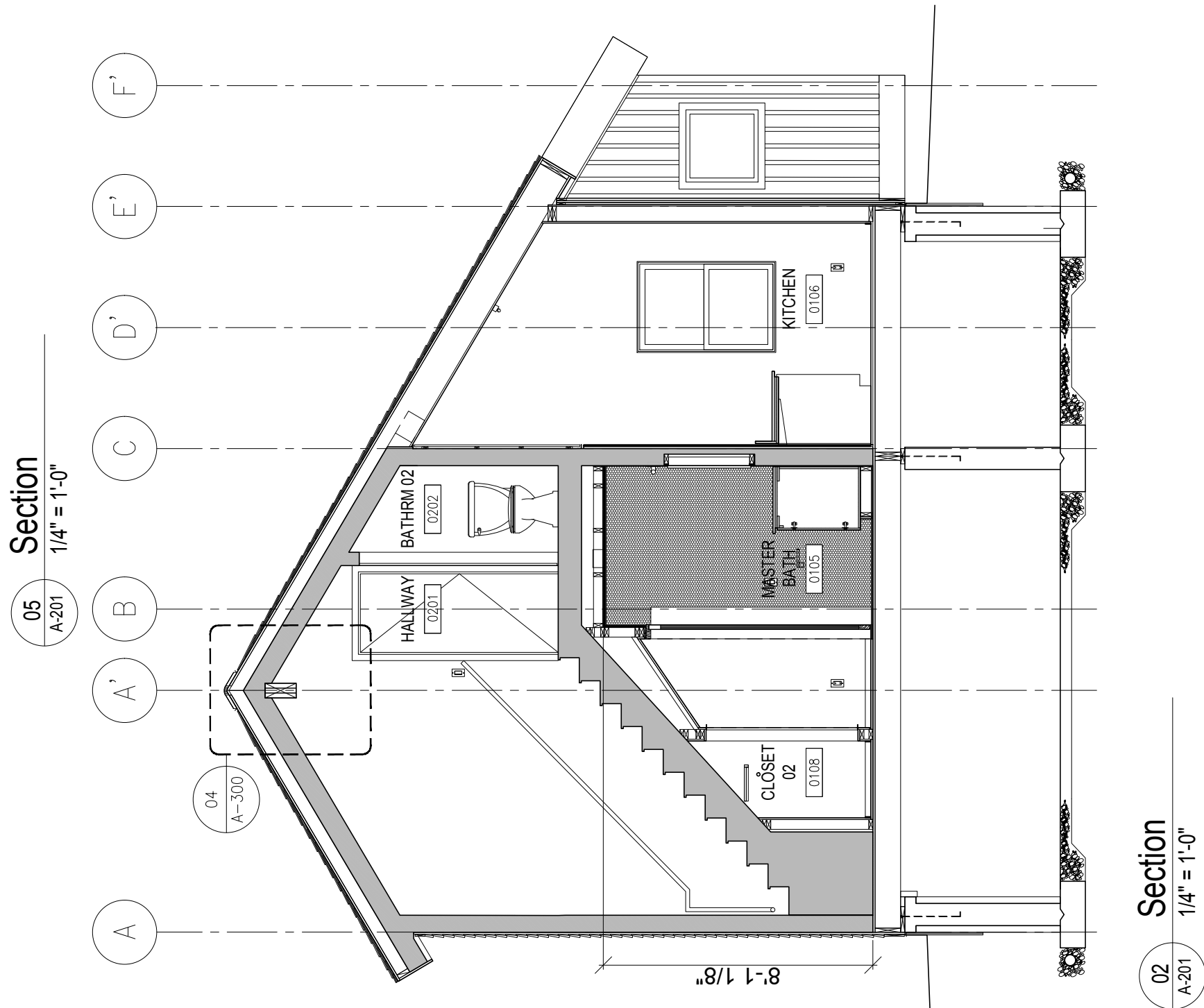
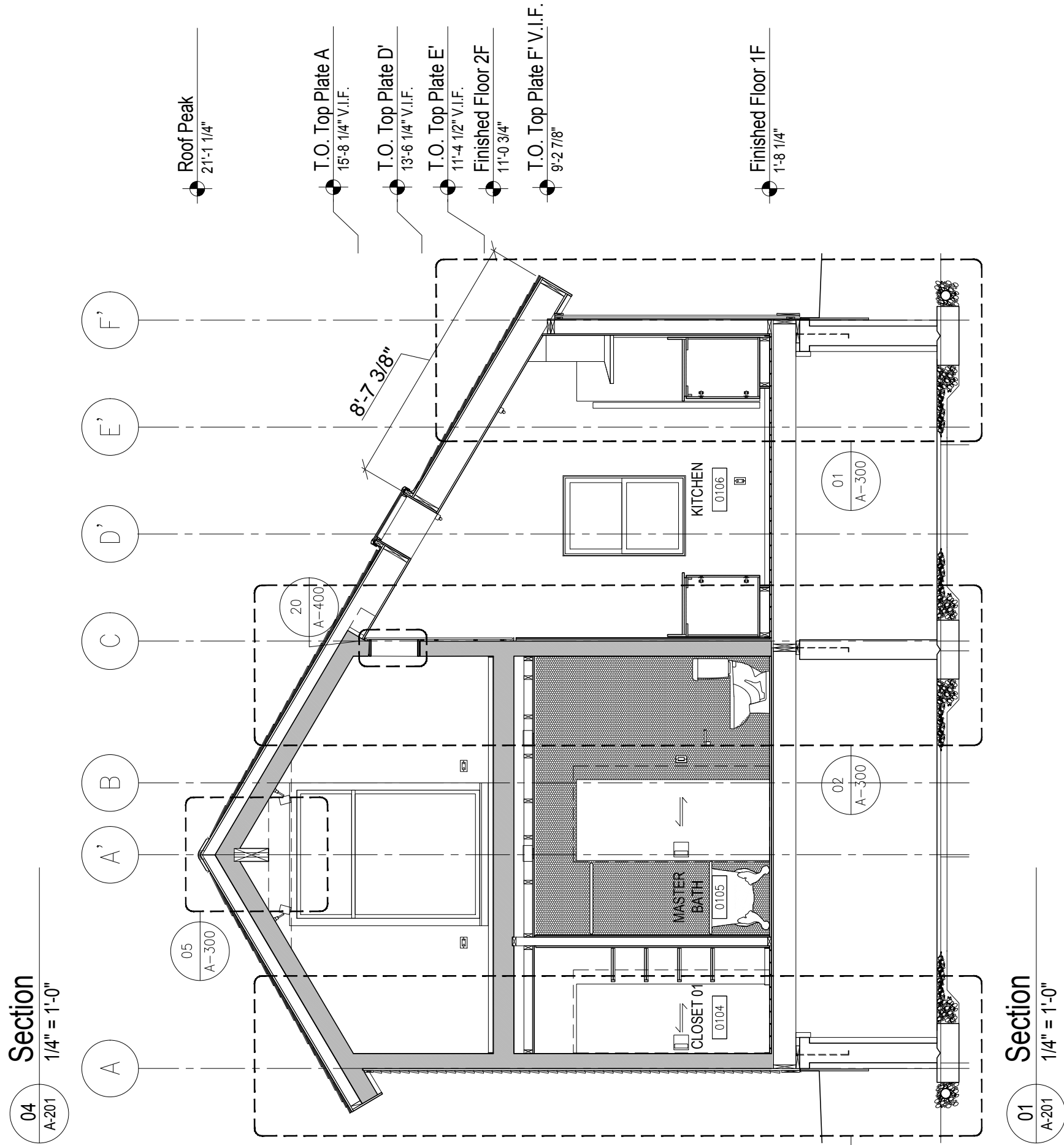
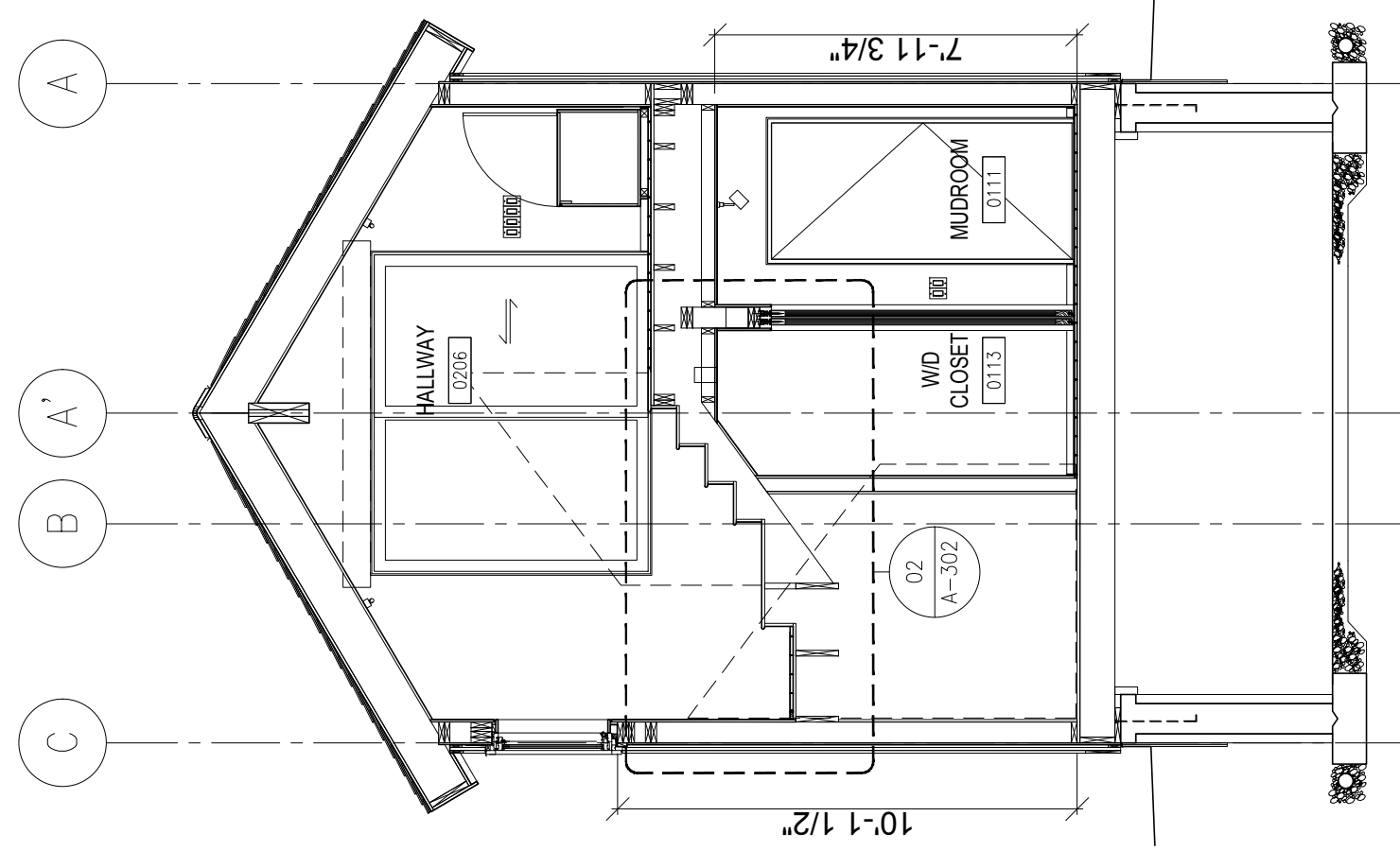
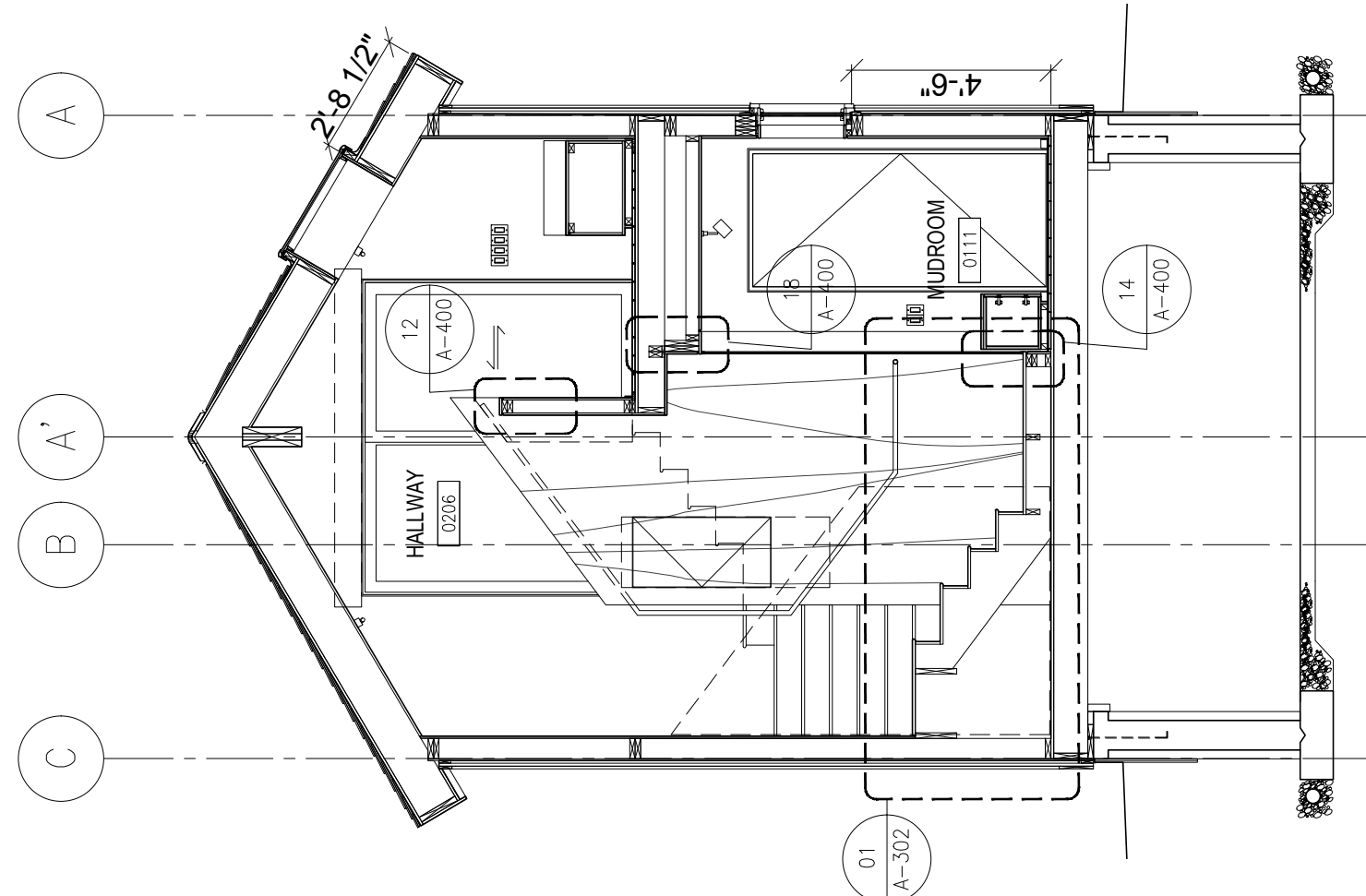
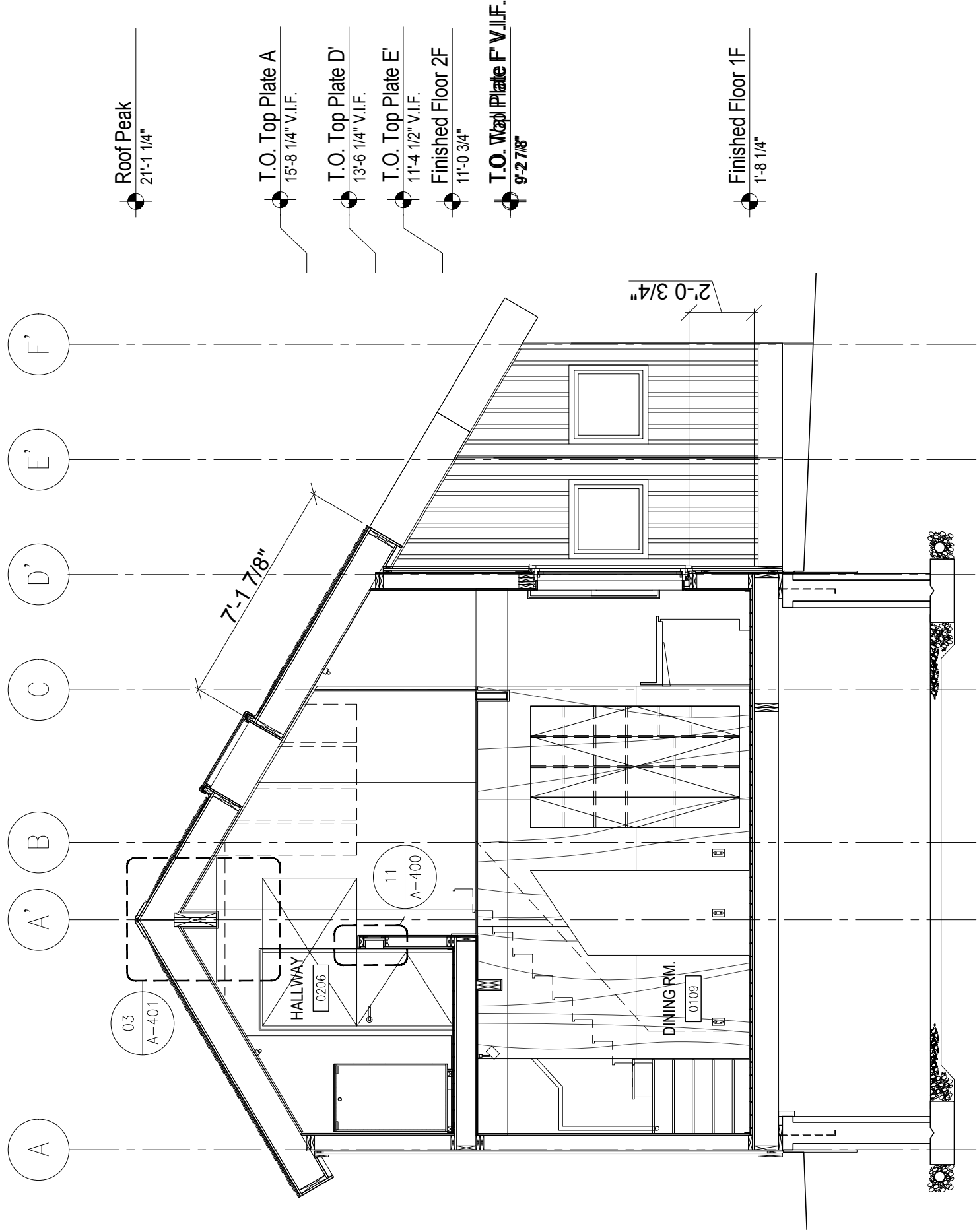


[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION

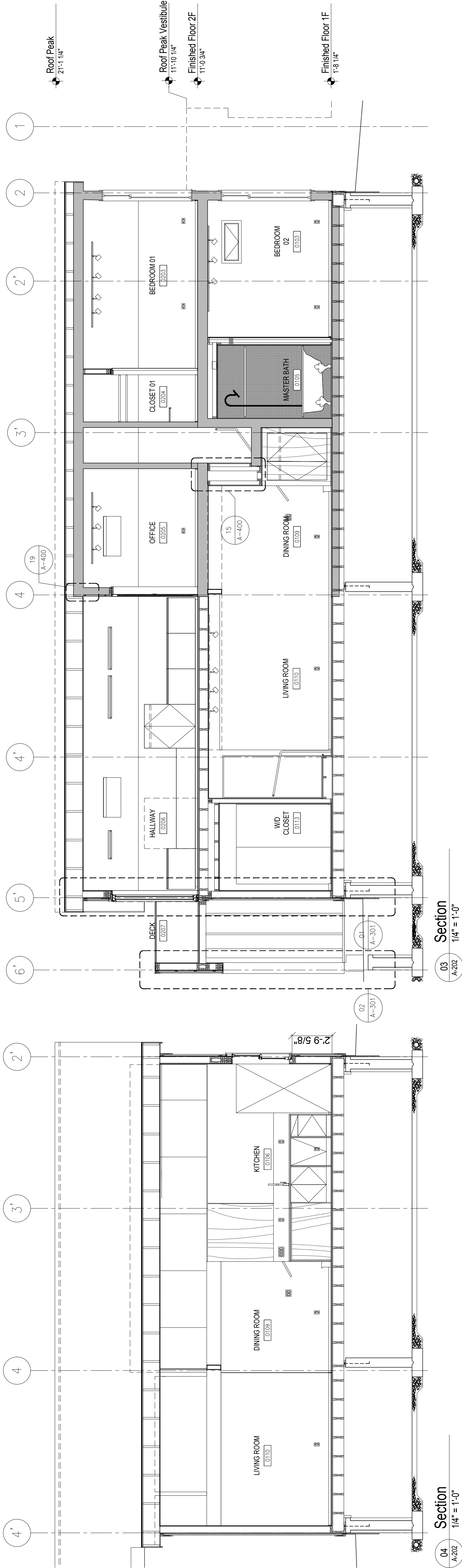
IAN MINOZ + SOPHIE RIESE, OWNERS		DATE
GALEN PARDEL, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
SECTIONS		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING No.: CHECKED BY: GP DRAWING NUMBER: A-201.00 OAD FILE No.: PAGE : OF :	



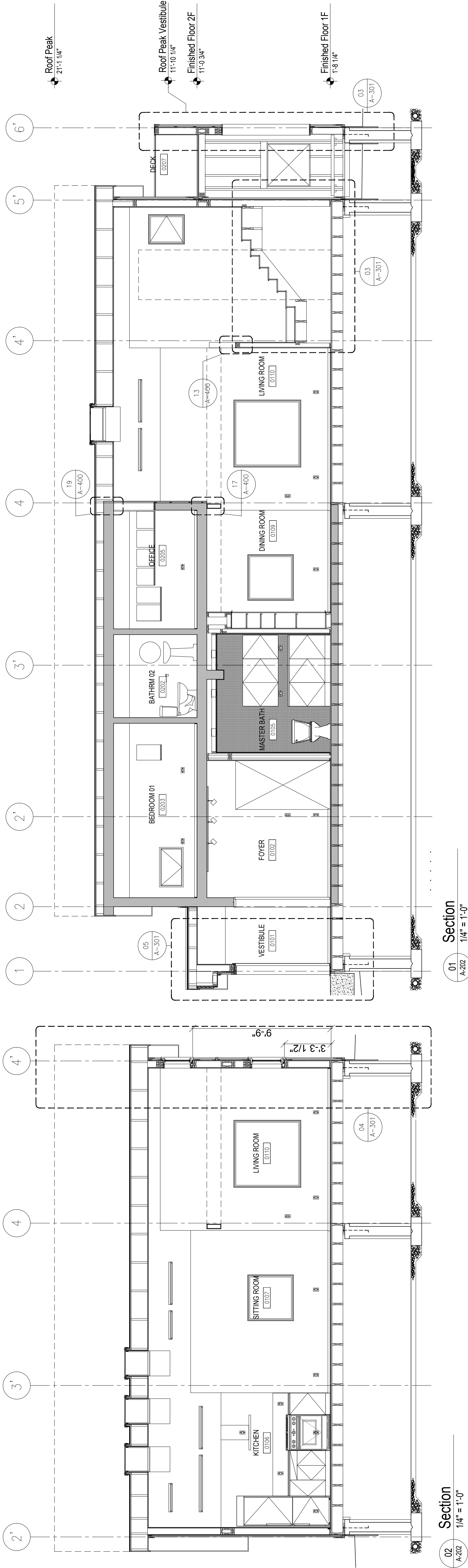
[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION



IAN MINOZ + SOPHIE RIESE, OWNERS	DATE
GALEN PAROLE, DESIGNER	DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>	
<p>PROJECT:</p> <p>LEADVILLE HOUSE ADDITION</p> <p>139 East 9th Street Leadville, CO 80461</p> <p>SECTIONS, INTERIOR ELEVATIONS</p>	
SEAL & SIGNATURE	<p>DATE: 01/10/22</p> <p>PROJECT No.: 2015</p> <p>DRAWING BY:</p> <p>CHECKED BY: GP</p> <p>DRAWING NUMBER:</p> <p>A-202.00</p> <p>CAD FILE No.: PAGE : OF 4</p>

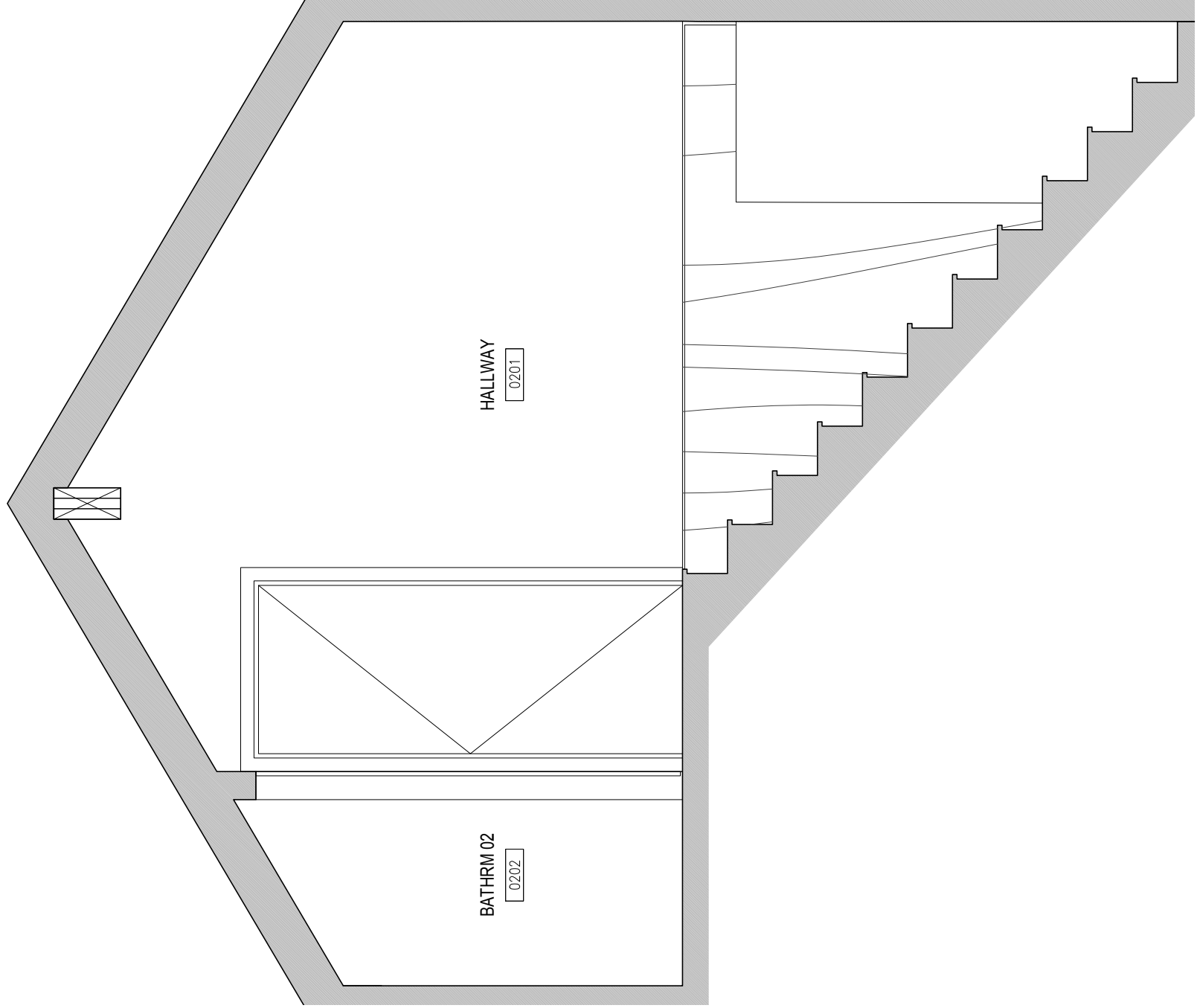


[illegible]

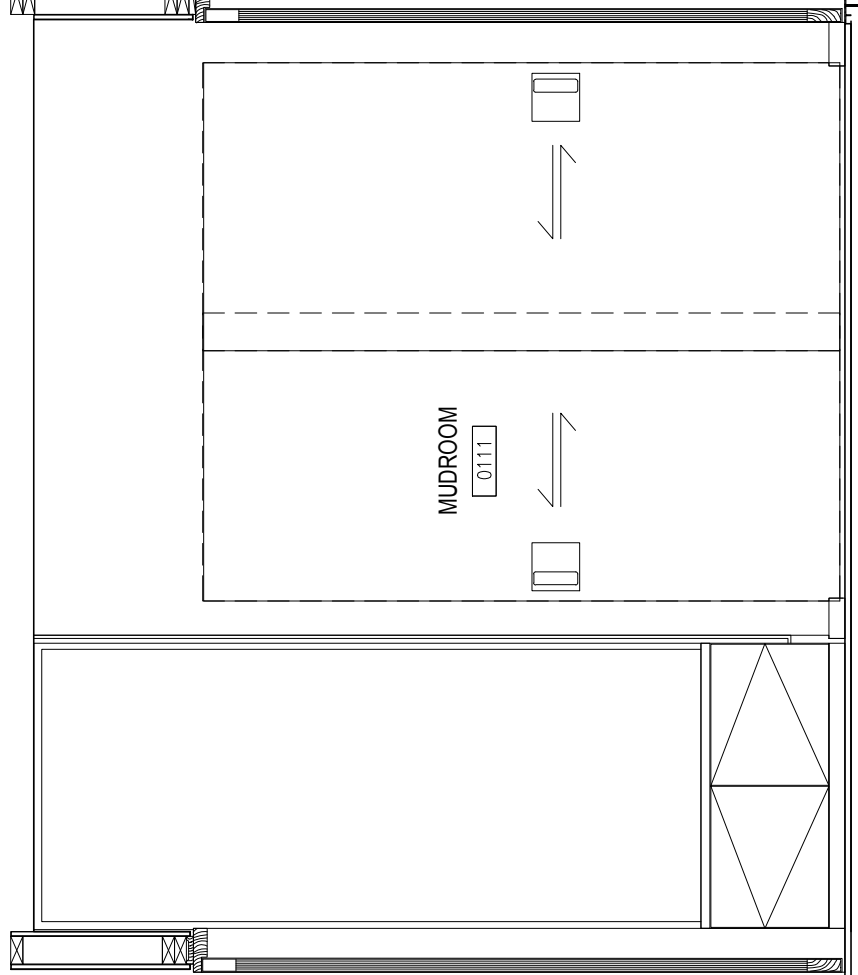
DRAWING AGENCY

NOT FOR
CONSTRUCTION

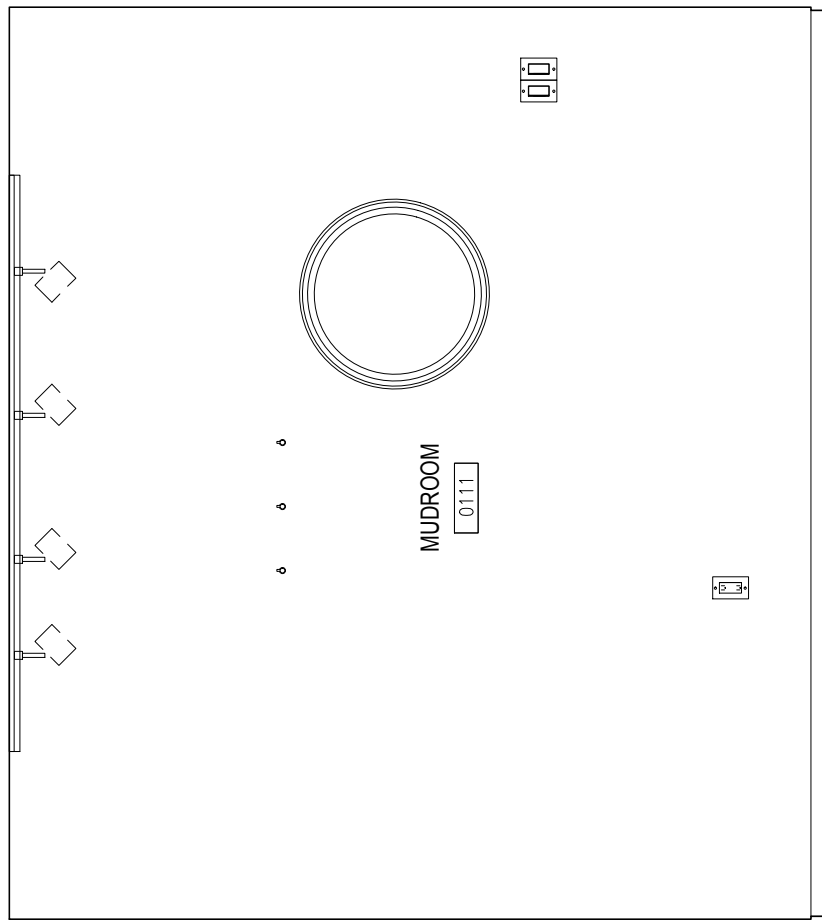
IAN MINOZ + SOPHIE RIESE, OWNERS		DATE
		DATE
GALEN PARREL, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
BATHROOM ELEVATION, ELEVATIONS		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING No.: CHECKED BY: GP DRAWING NUMBER: A-203.00 CAD FILE No.: PAGE : OF 4	



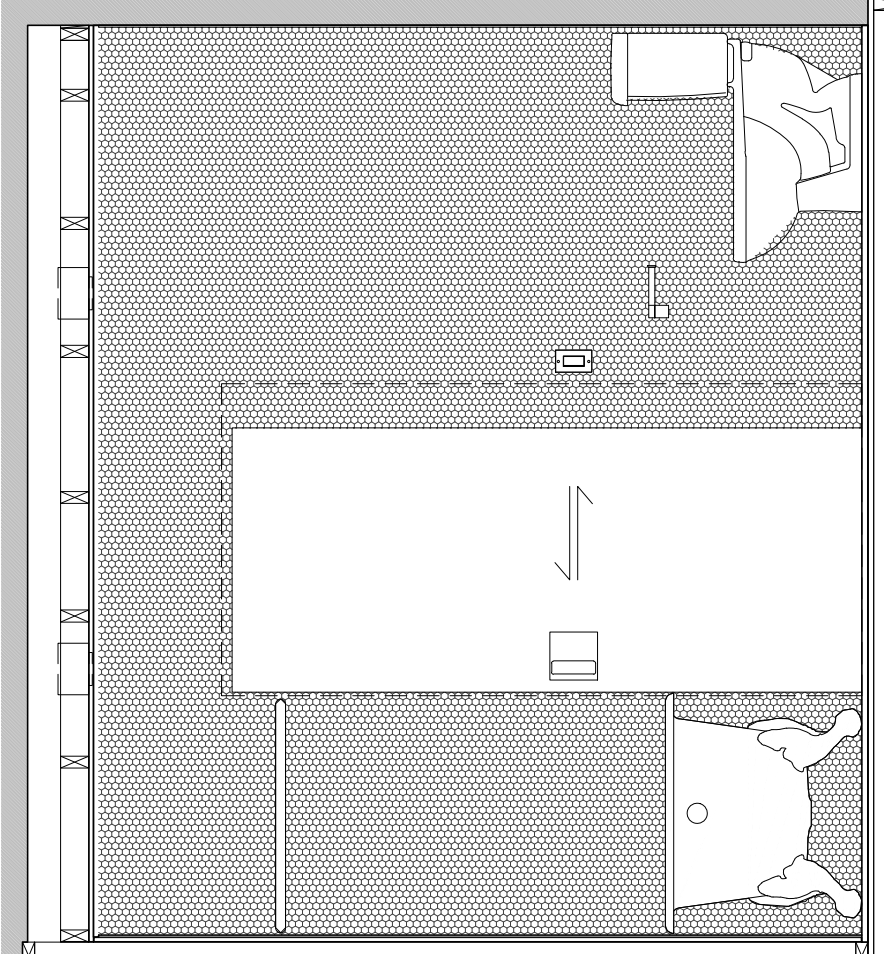
09 A-203	<div> <div> Hallway South Elevation </div> <div> $1\frac{1}{2}'' = 1'-0''$ </div> </div>
-------------	---



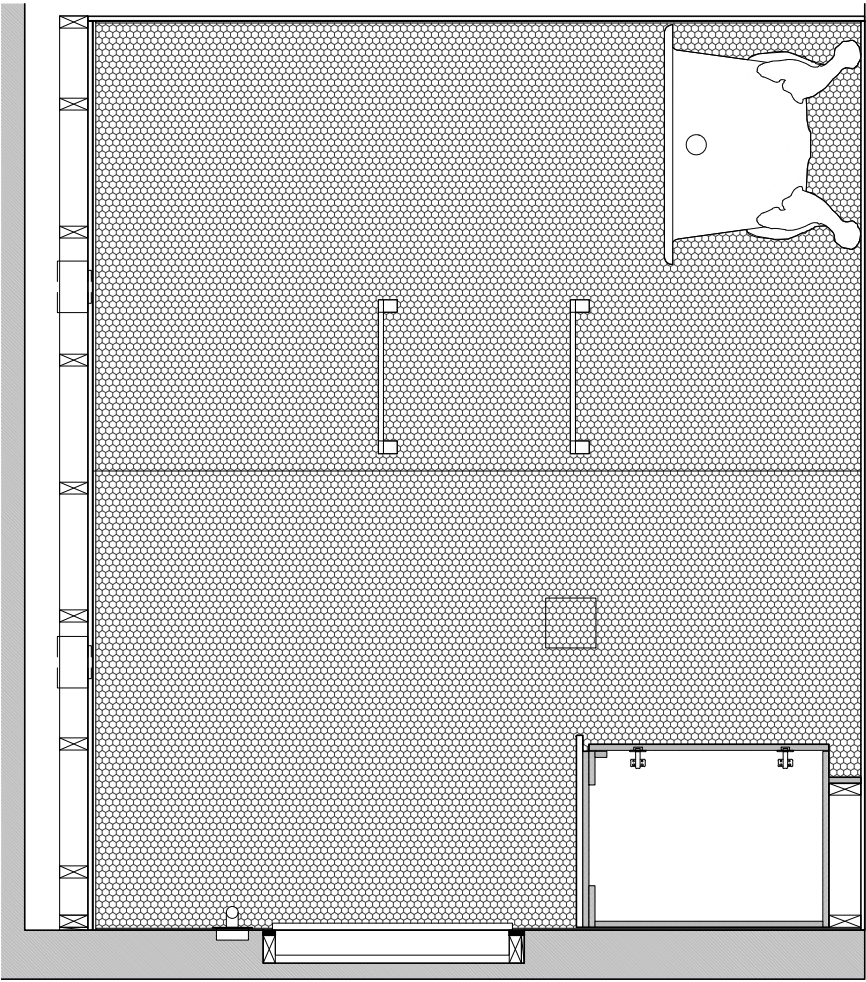
06
A-203



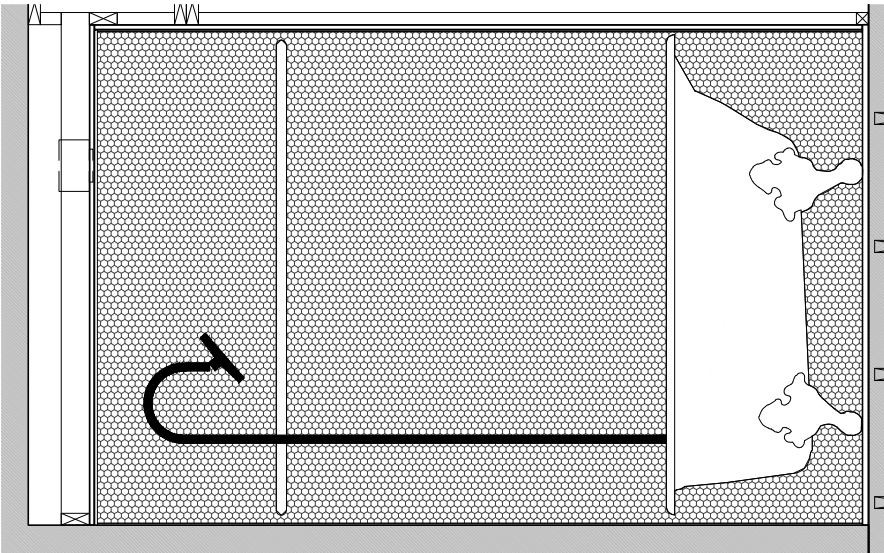
07
A-203



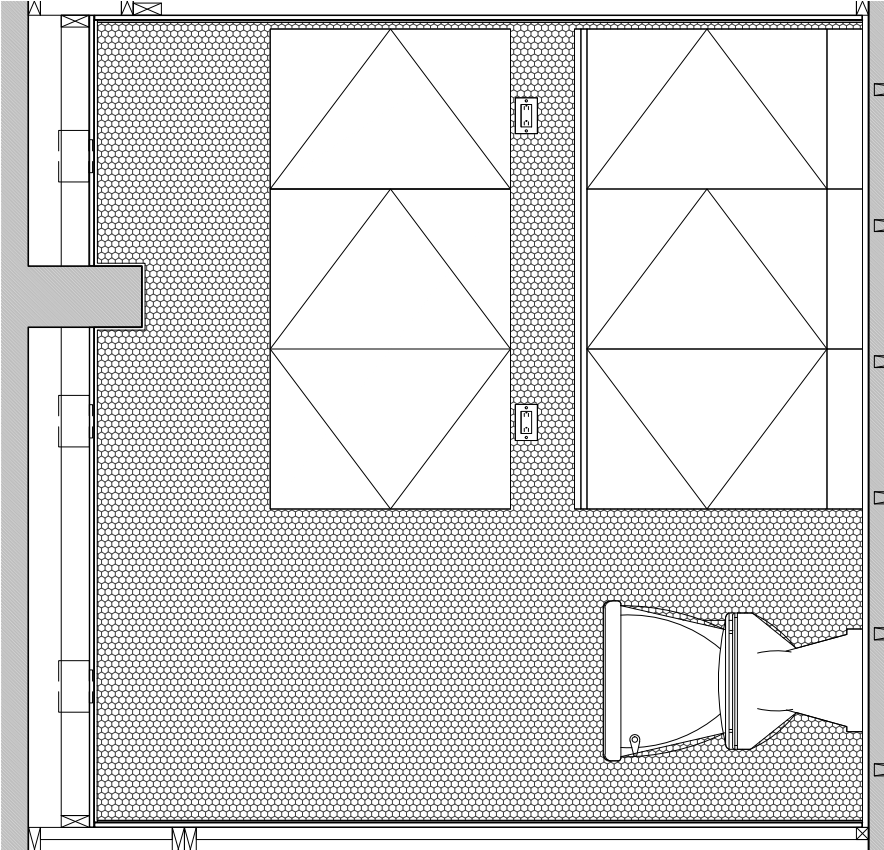
01
A-203



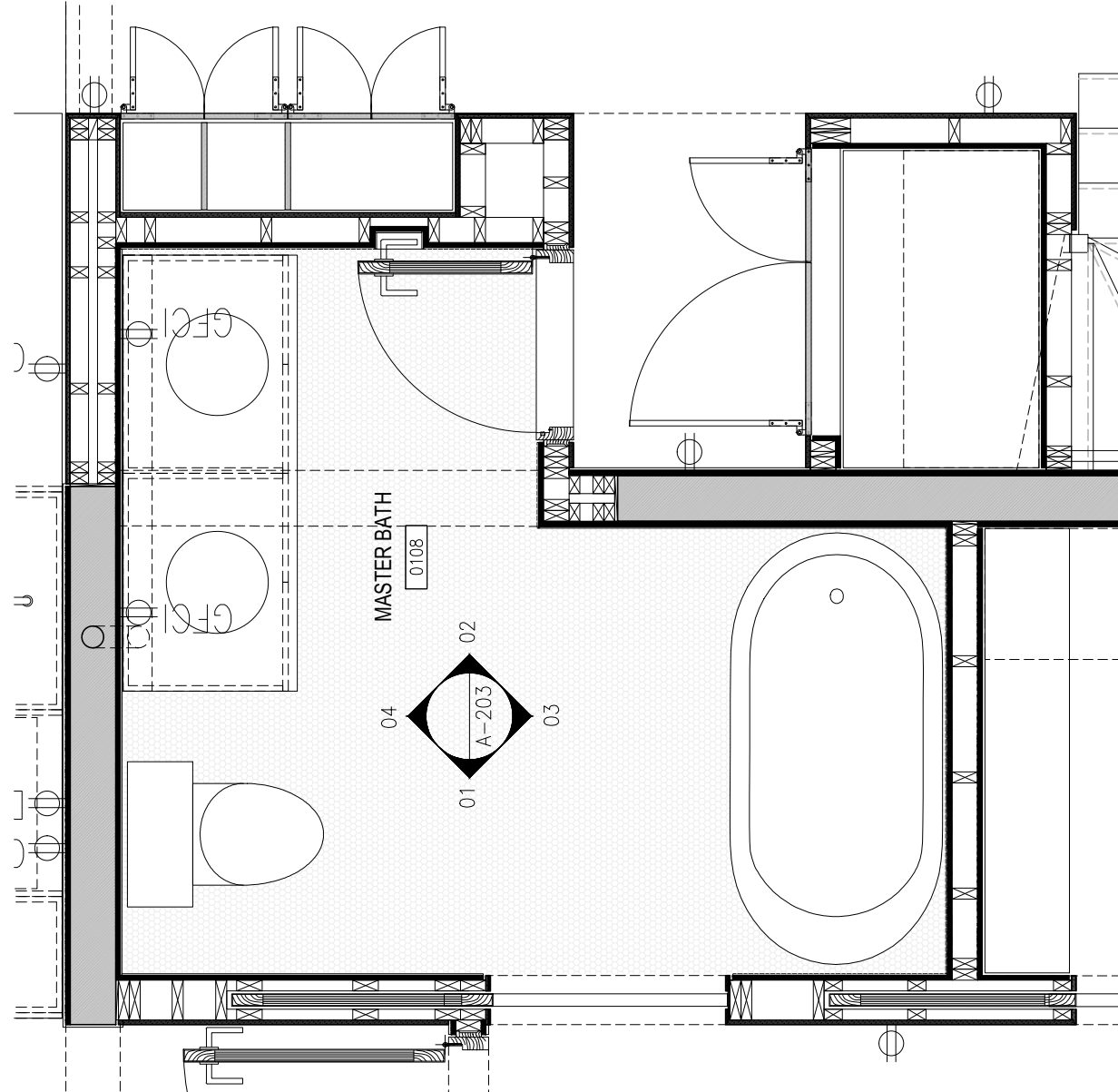
02
A-203



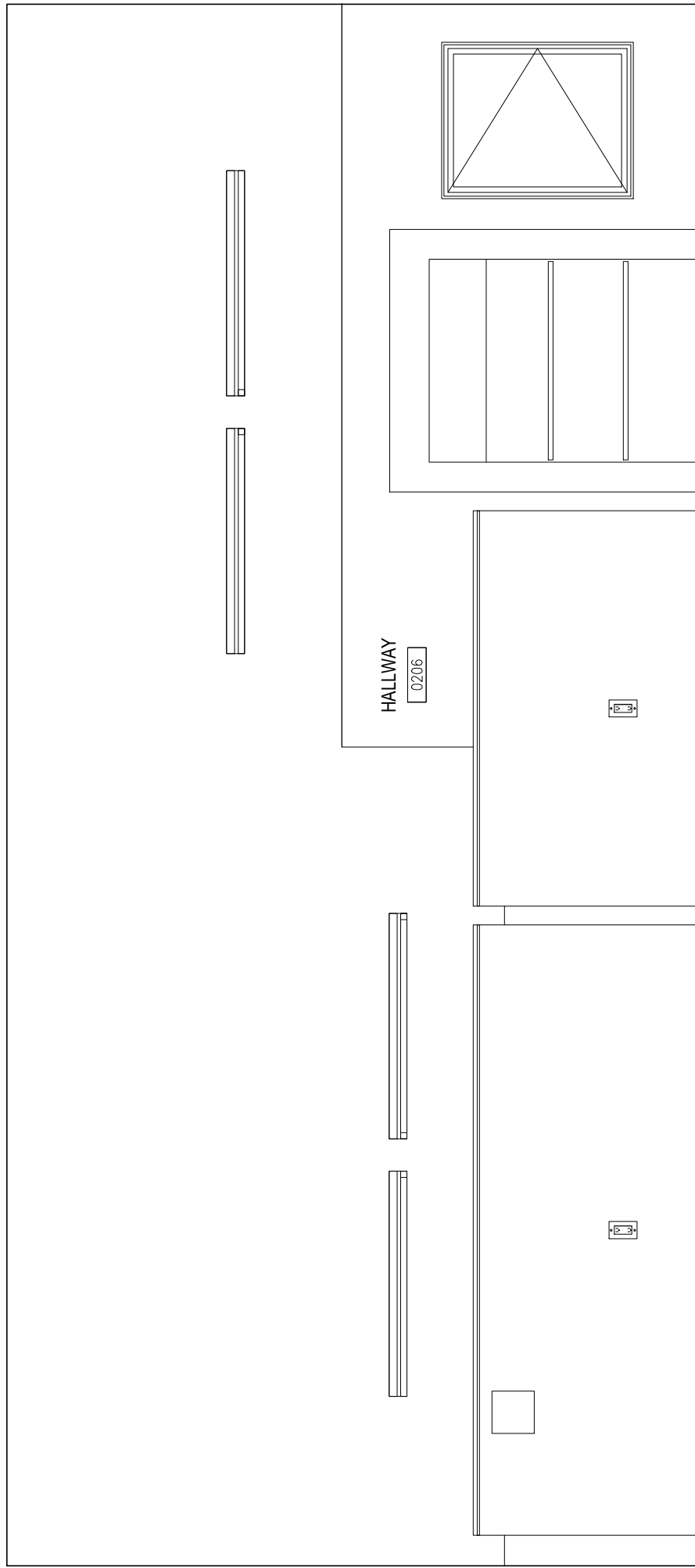
03
A-203



04
A-203



05 Bathroom Enlarged Plan
A-203 1/2" = 1'-0"



08
A-203

[illegible]

[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION

IAN WINOZ + SOPHIE RIESE, OWNERS	DATE
	DATE
CALEN PARDEE, DESIGNER	DATE

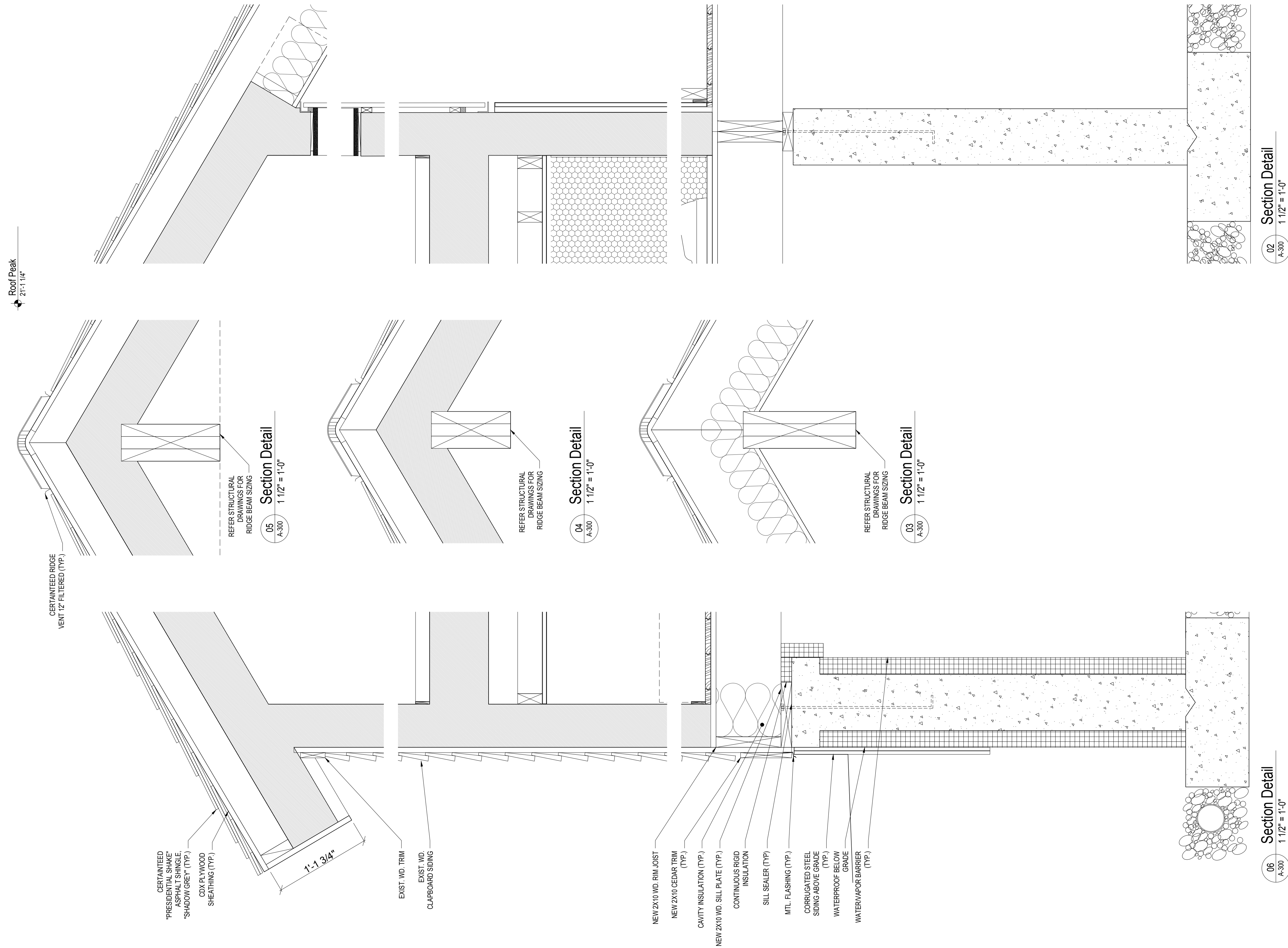
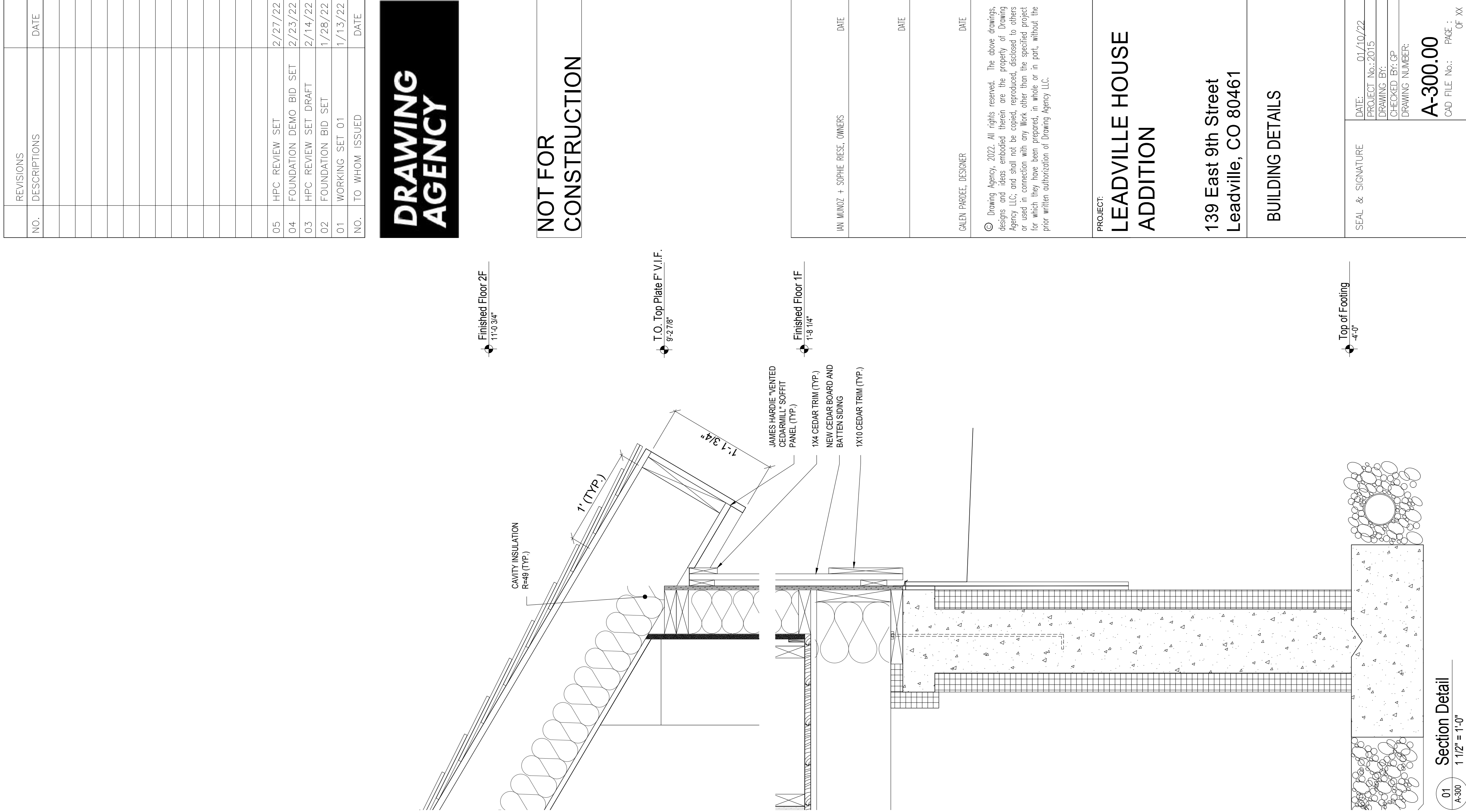
© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.

PROJECT:
LEADVILLE HOUSE
ADDITION

139 East 9th Street
Leadville, CO 80461

BUILDING DETAILS

DATE:	01/10/22
PROJECT No:	2015
DRAWING BY:	
CHECKED BY:	GP
DRAWING NUMBER:	
A-300.00	
CAD FILE No.:	PAGE : 07 OF 22

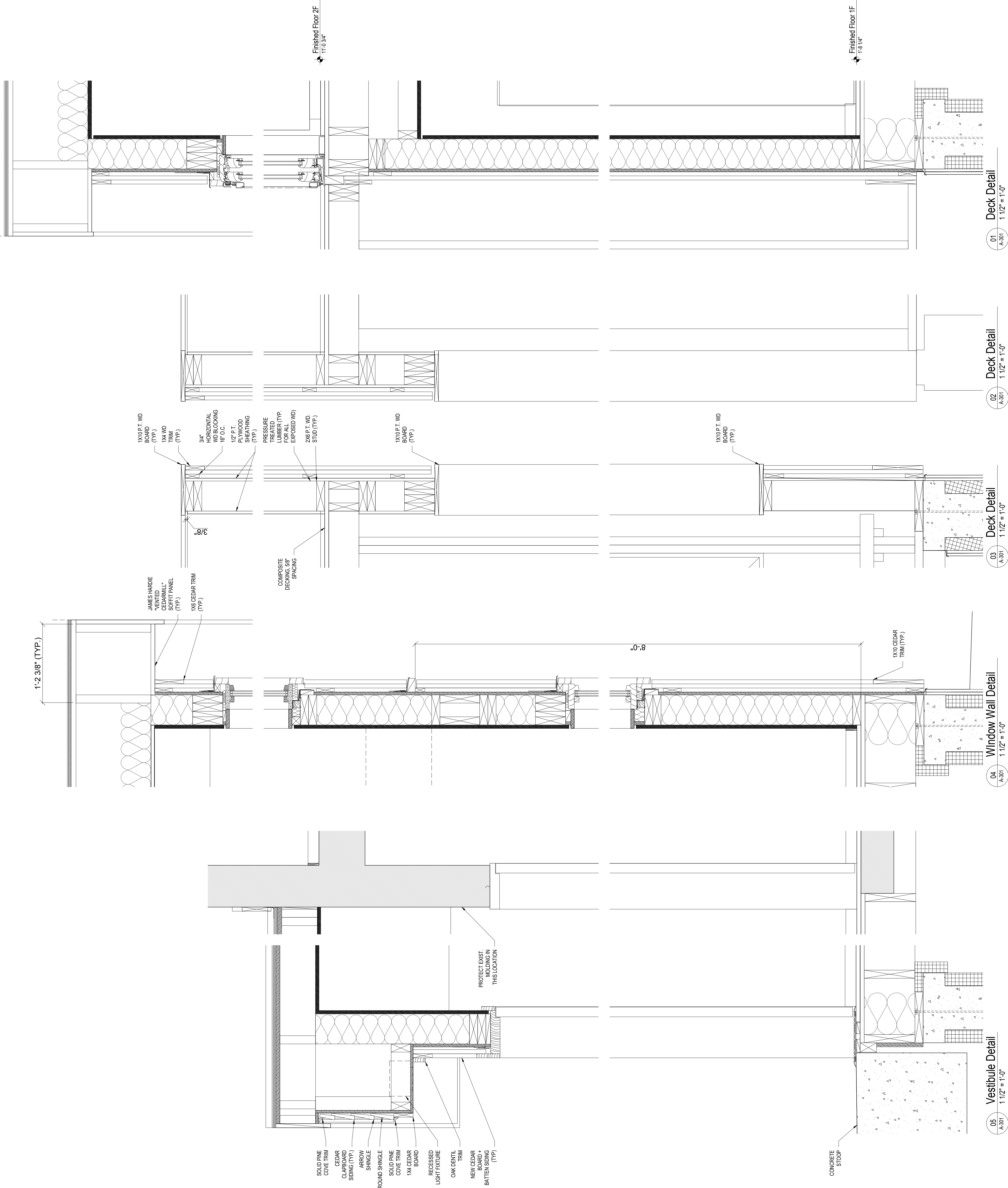


[illegible]

DRAWING AGENCY

NOT FOR CONSTRUCTION

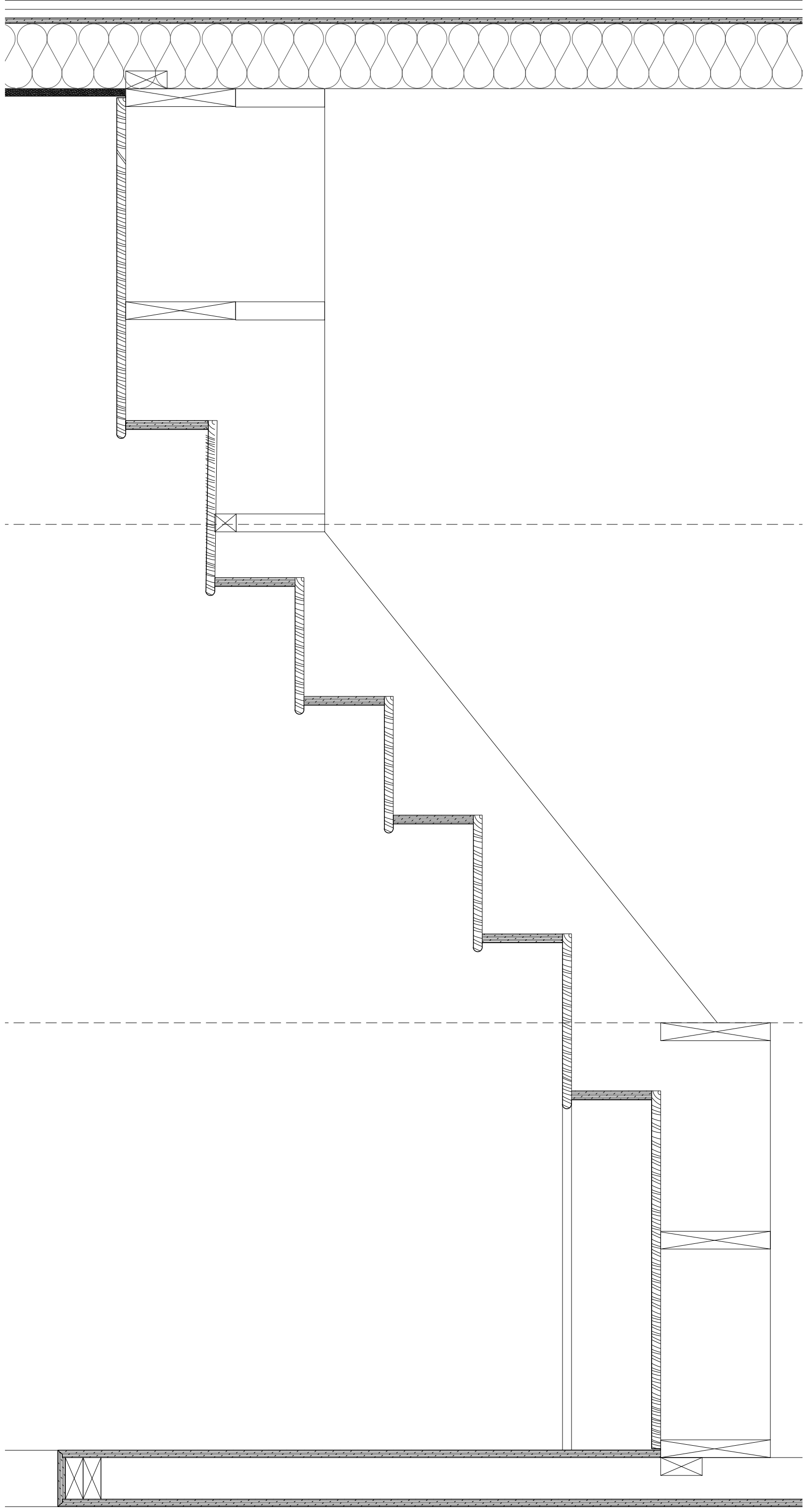
IAN MINOZ + SOPHIE ROSSI, OWNERS		DATE
GAILN PARDET, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
BUILDING DETAILS		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING BY: CHECKED BY: GP DRAWING NUMBER:	
A-301.00		CAD FILE No.: PAGE : OF XX



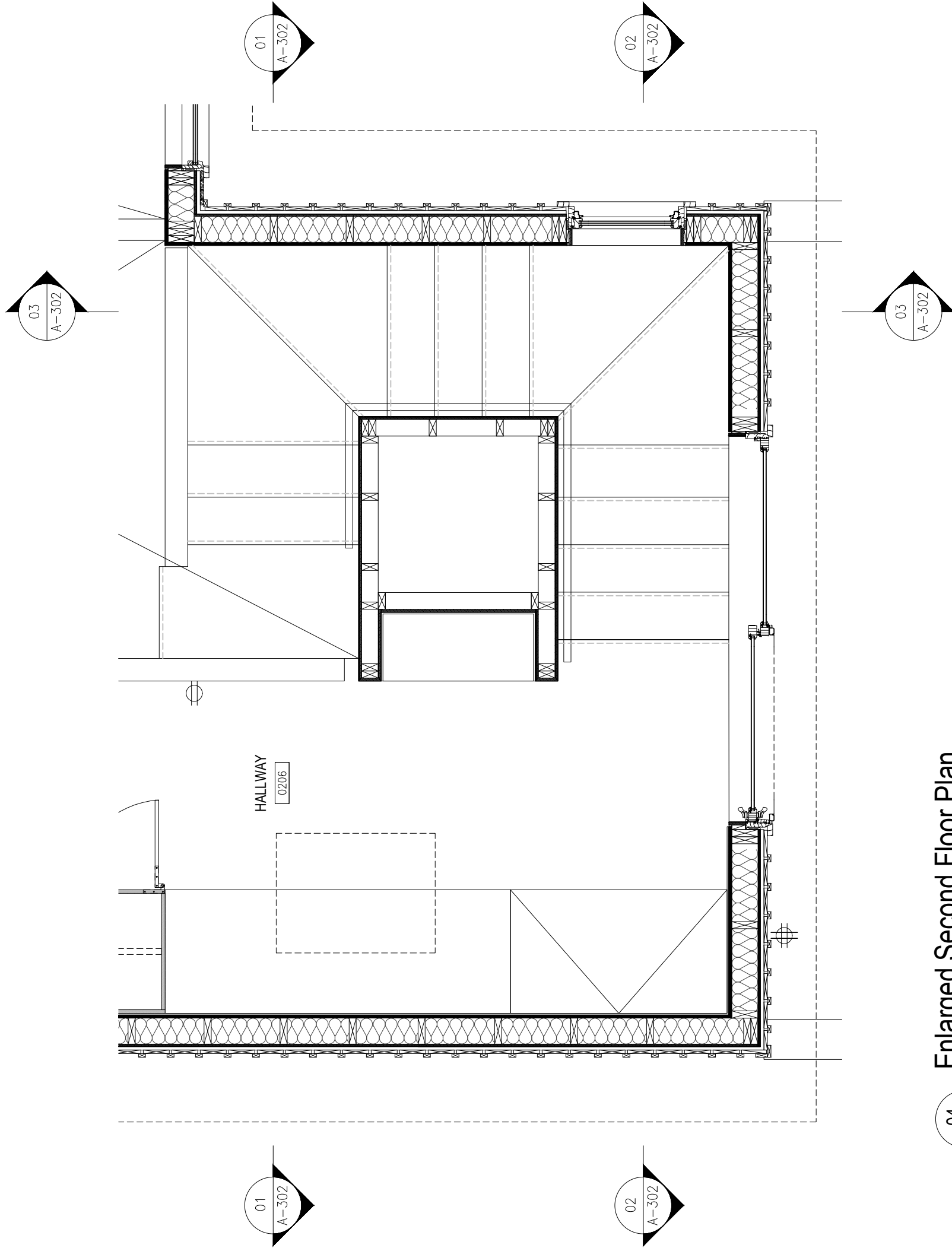
[illegible]

DRAWING AGENCY

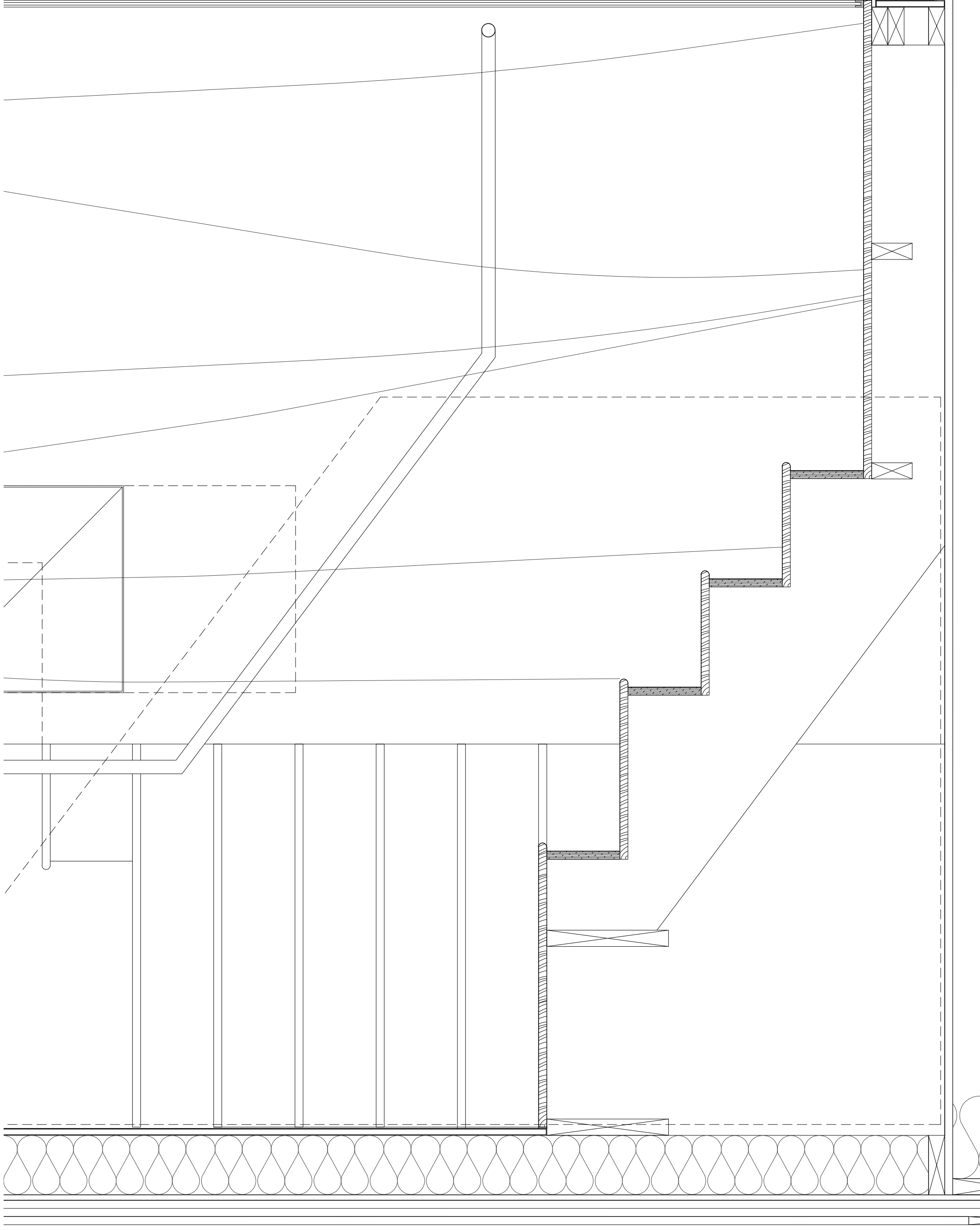
NOT FOR CONSTRUCTION



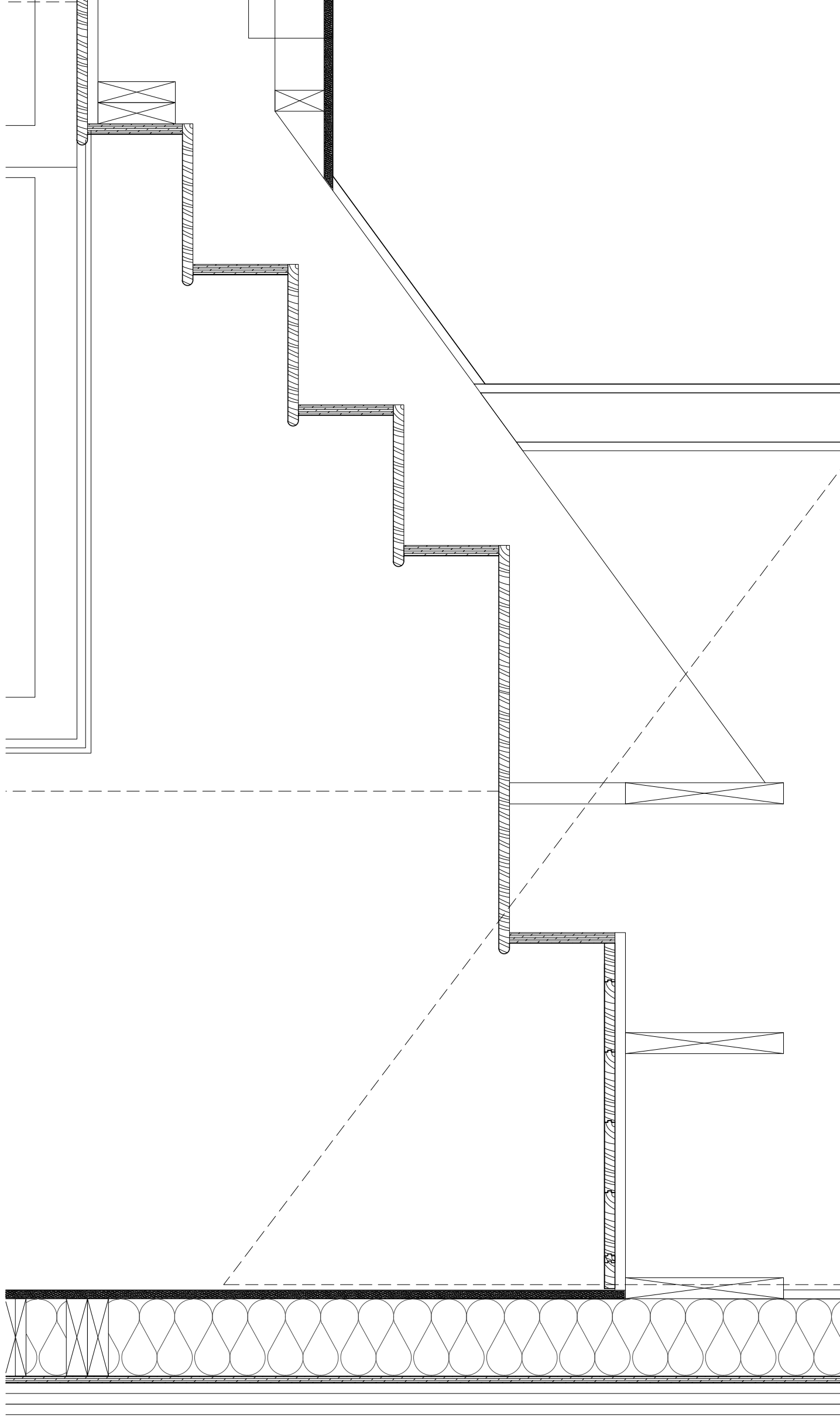
03
A-302



04
A-302

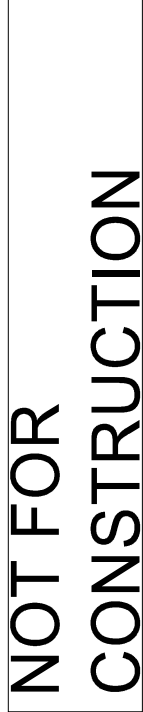


01
A-302



02
A-302

IAN MINOZ + SOPHIE RIESE, OWNERS		DATE
		DATE
GALEN PAROLE, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
STAIR DETAILS		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING No.: CHECKED BY: GP DRAWING NUMBER:	OF 8
A-302.00		OF 8
CAD FILE No.:		PAGE :

[illegible]

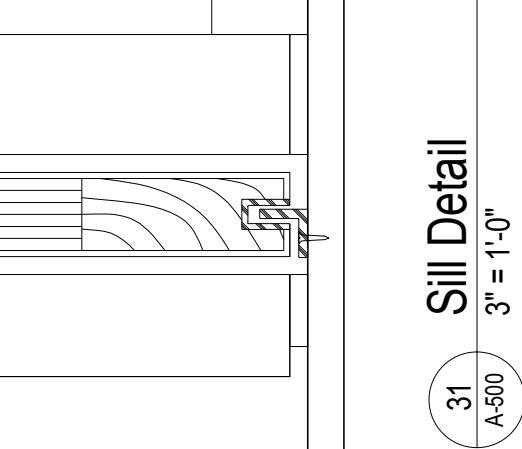
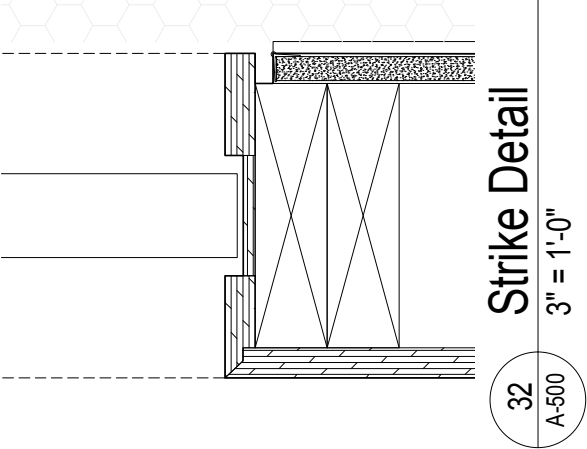
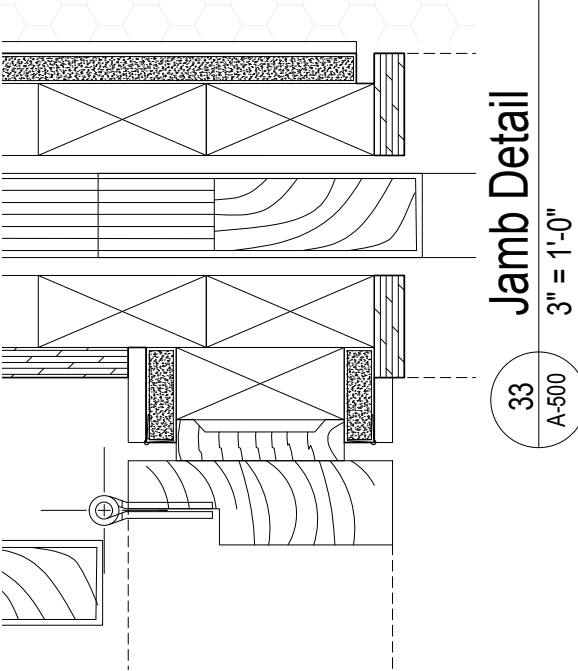
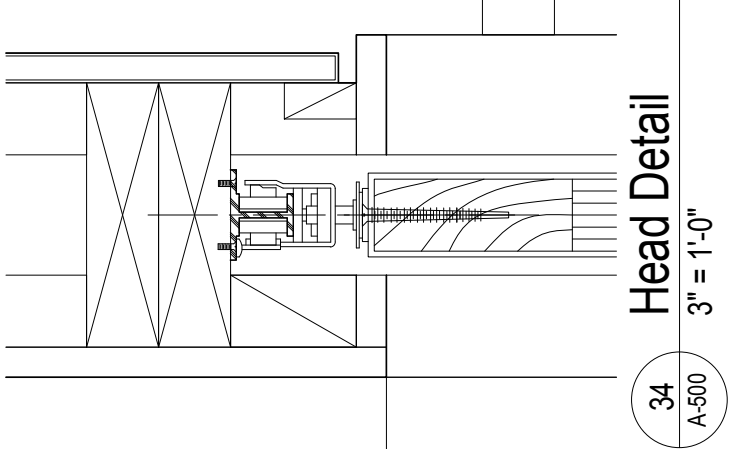
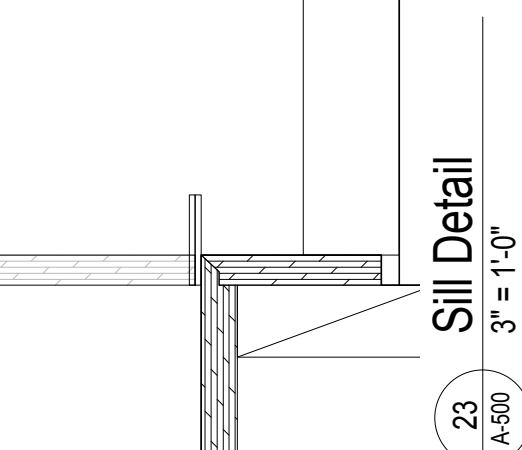
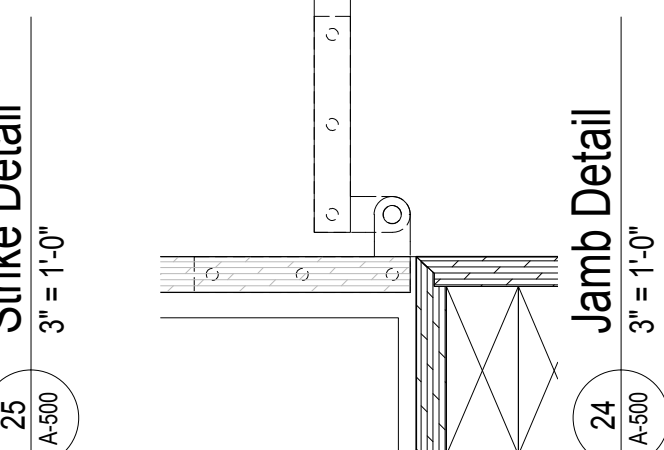
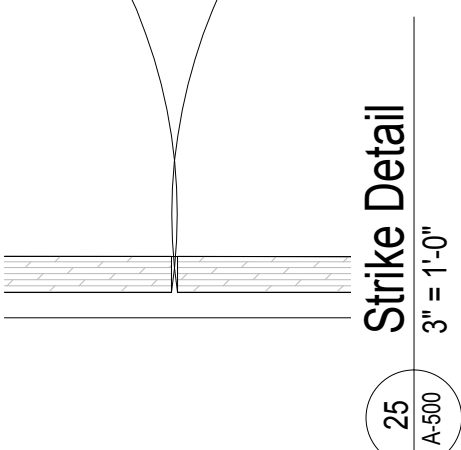
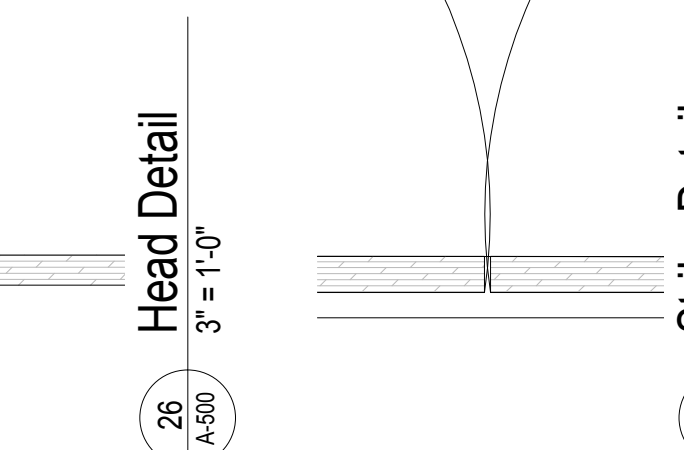
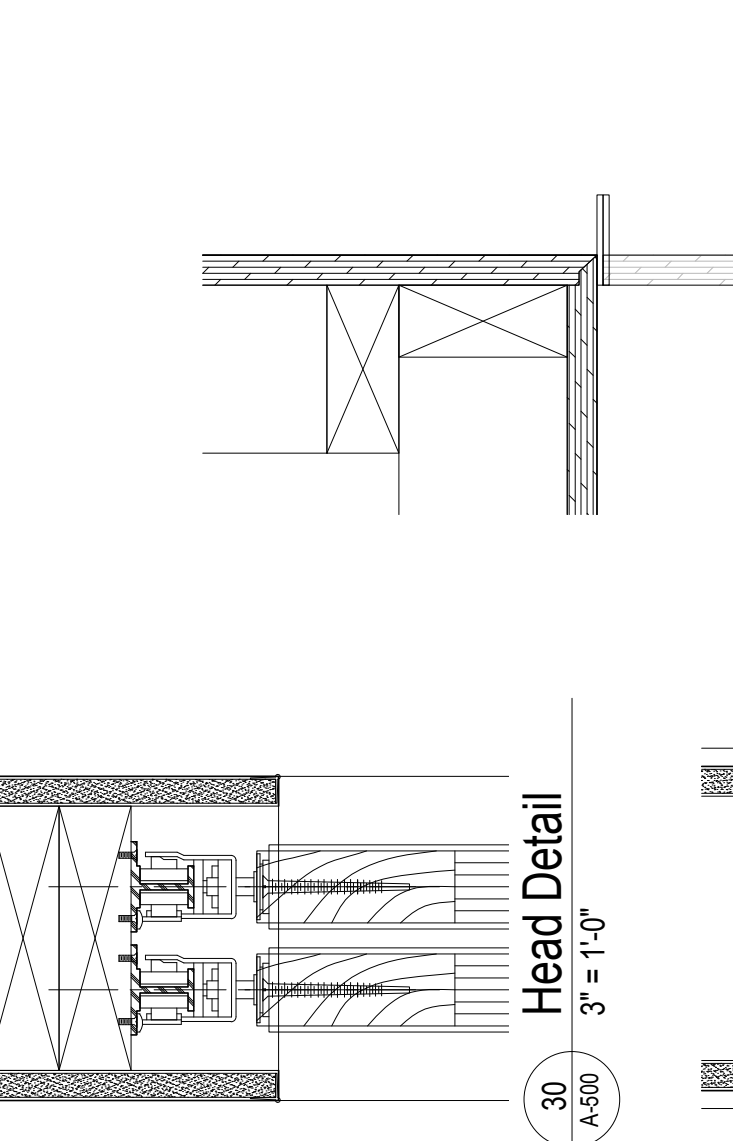
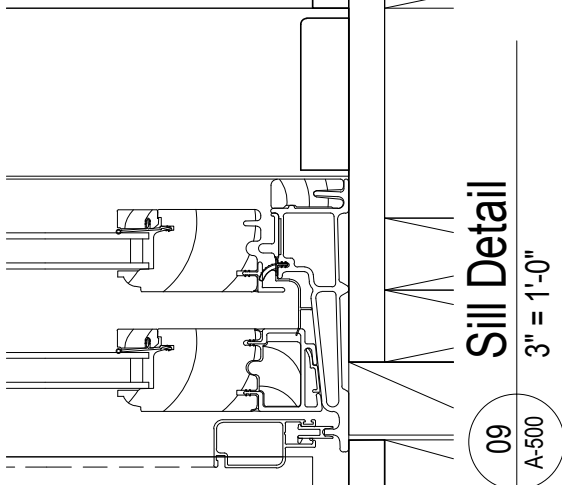
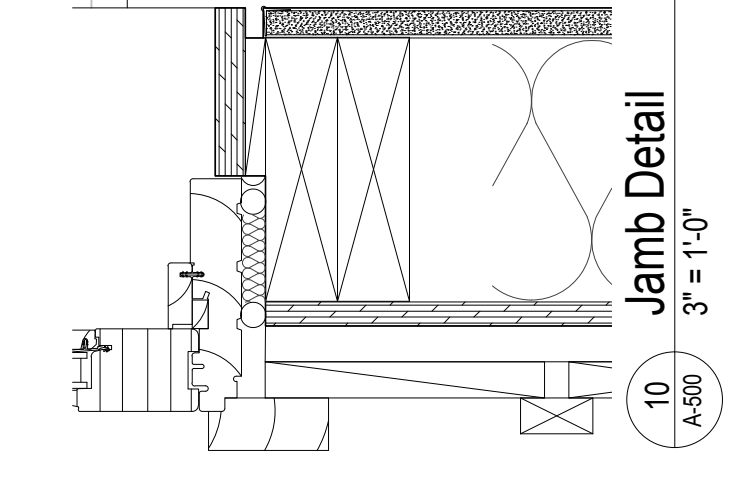
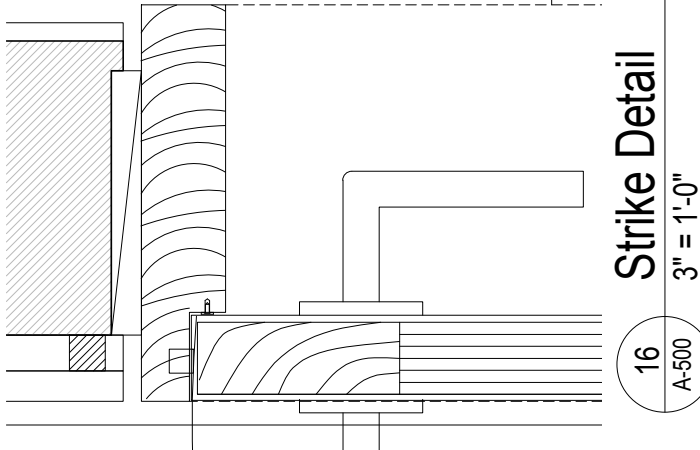
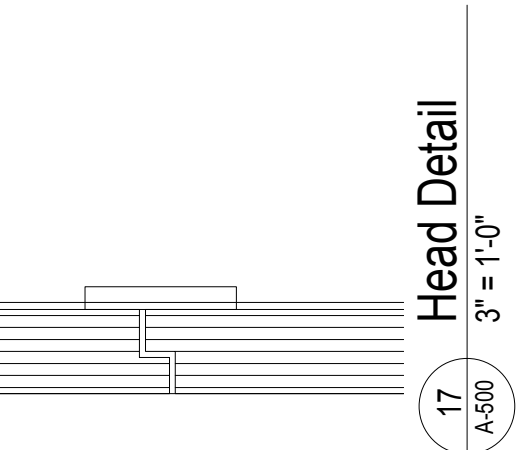
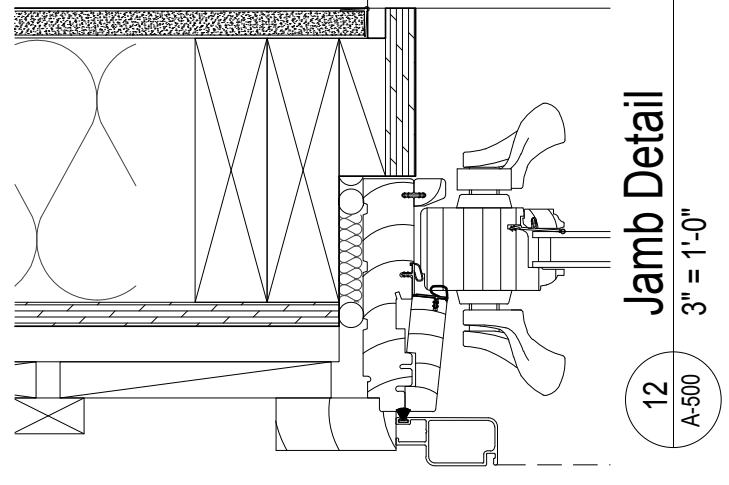
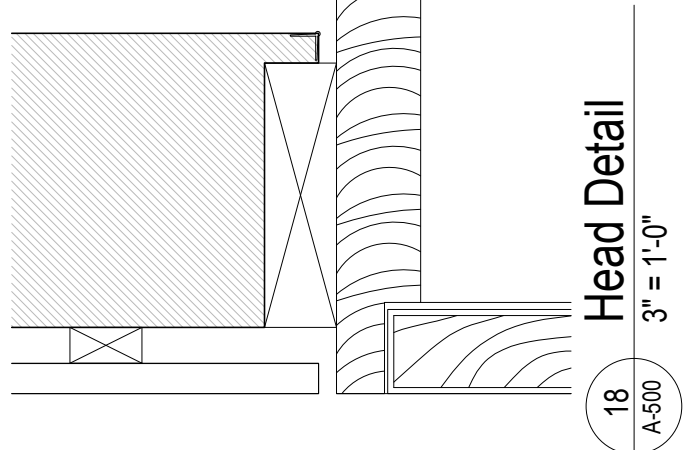
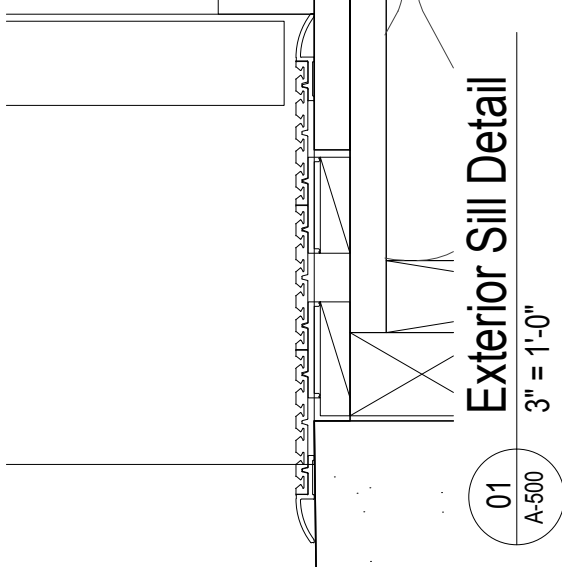
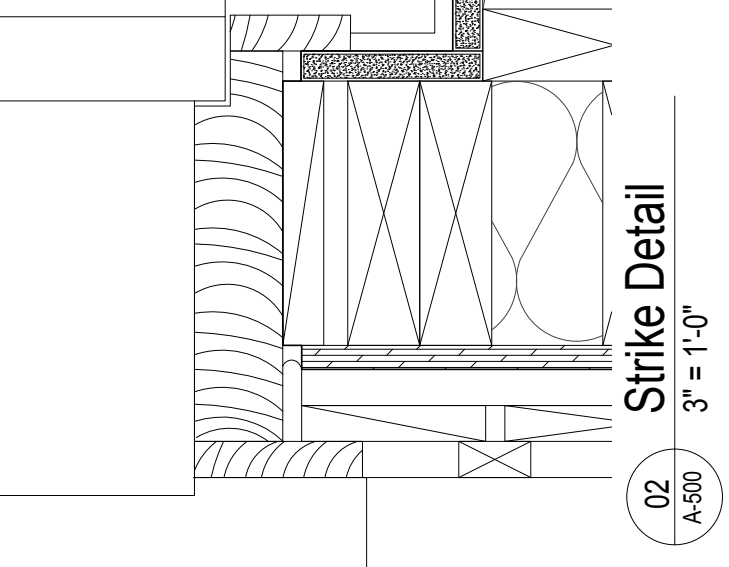
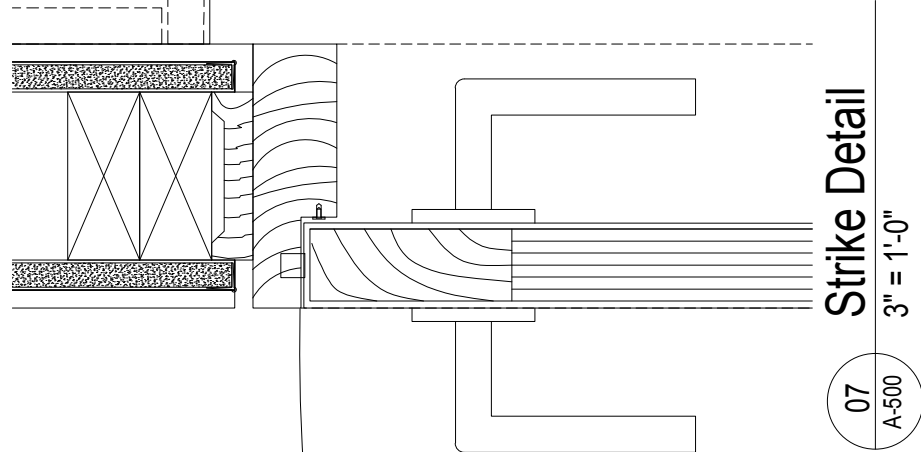
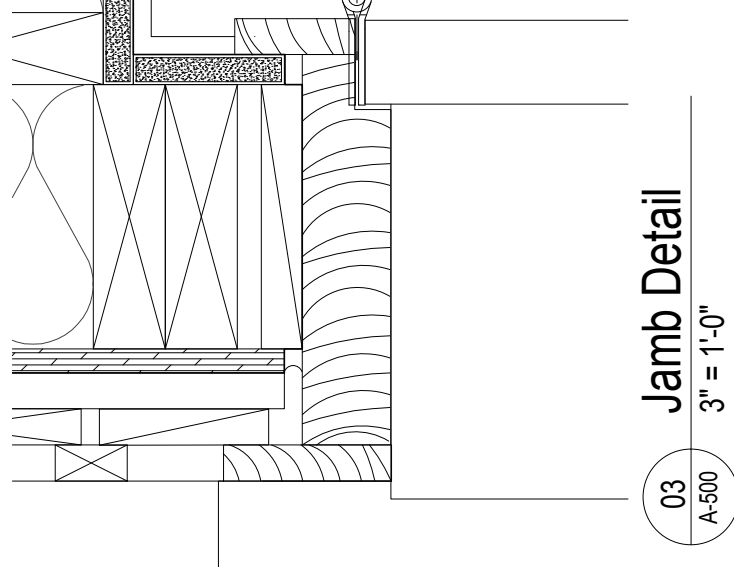
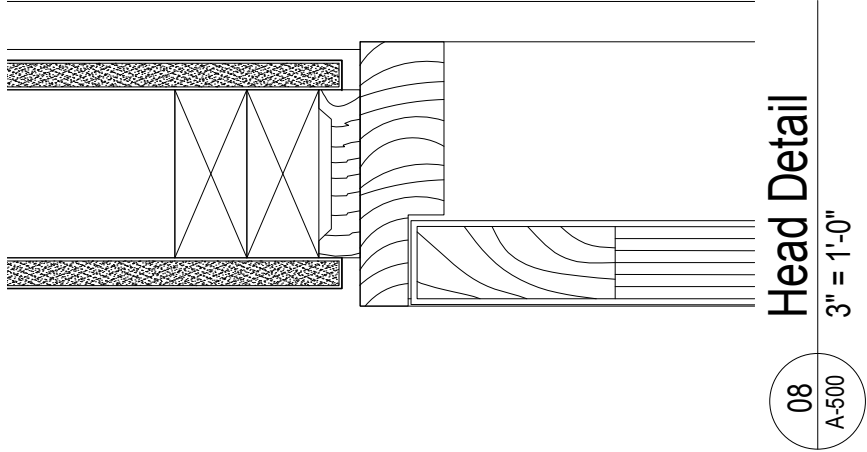
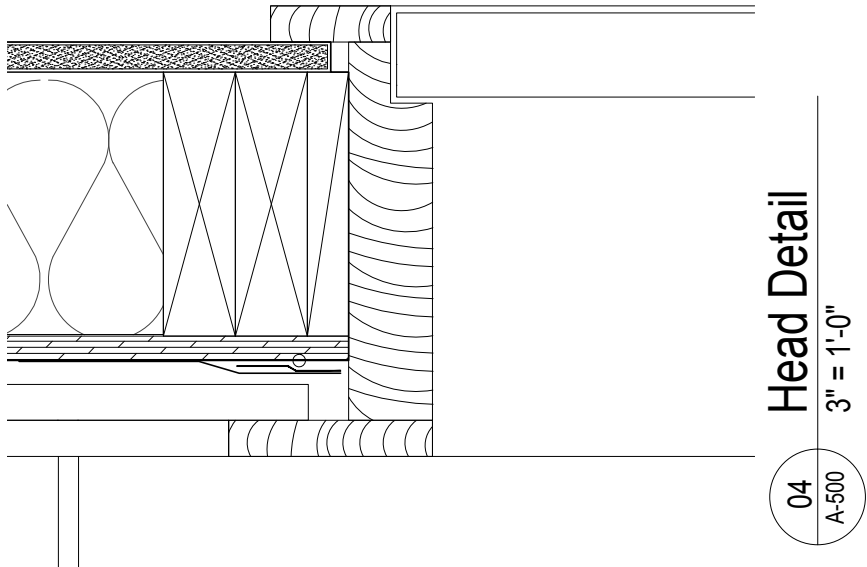
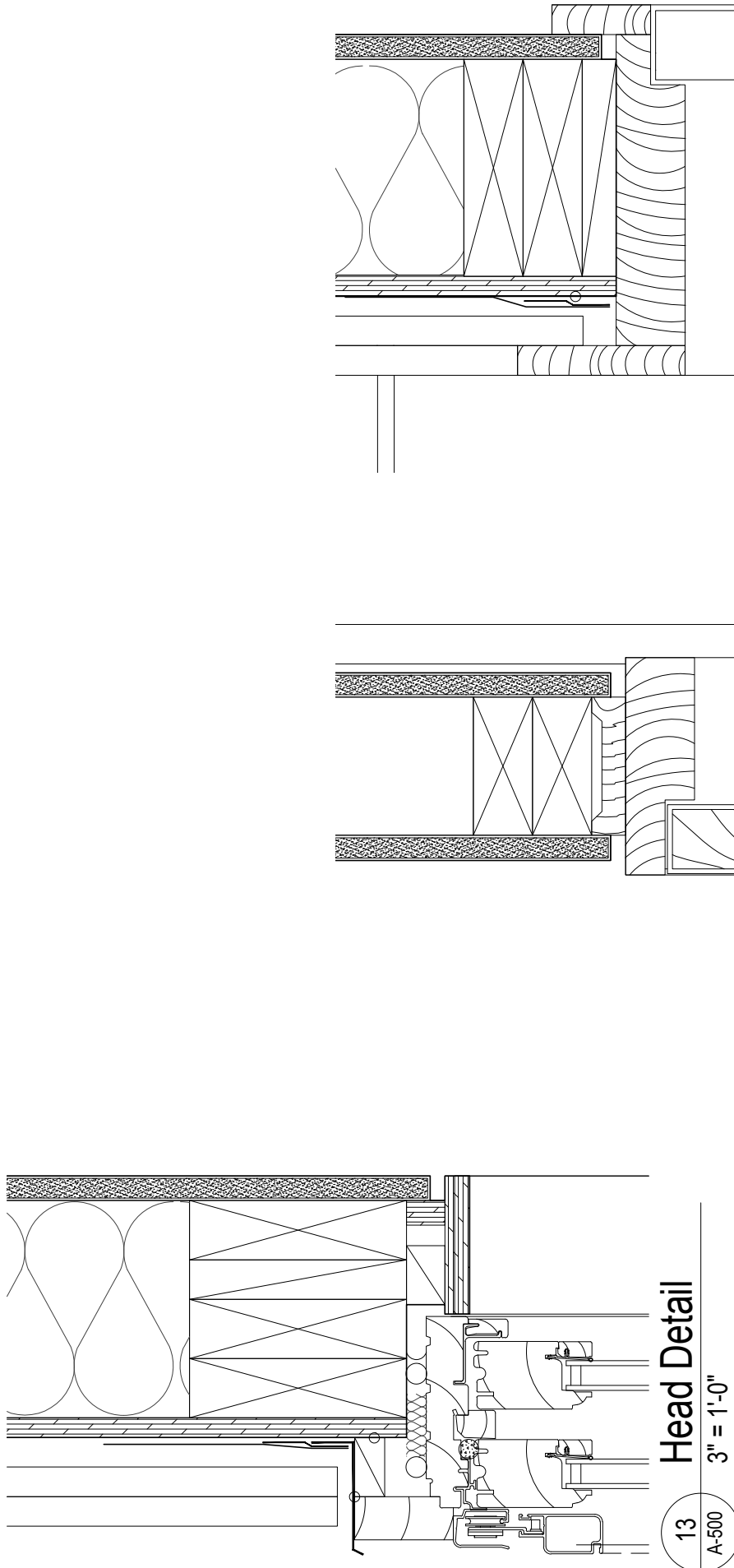
IAN MUNOZ + SOPHIE RIESE, OWNERS	DATE
	DATE
GALEN PARDEE, DESIGNER	DATE

© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.

PROJECT: LEADVILLE HOUSE
ADDITION

139 East 9th Street
Leadville, CO 80461

DOOR DETAILS, SCHEDULES	SEAL & SIGNATURE	DATE: 01/10/22
		PROJECT No.: 2015
		DRAWING BY:
		CHECKED BY: GP
		DRAWING NUMBER:
		A-500.00
		OAD FILE No.: PAGE : 08 OF 22

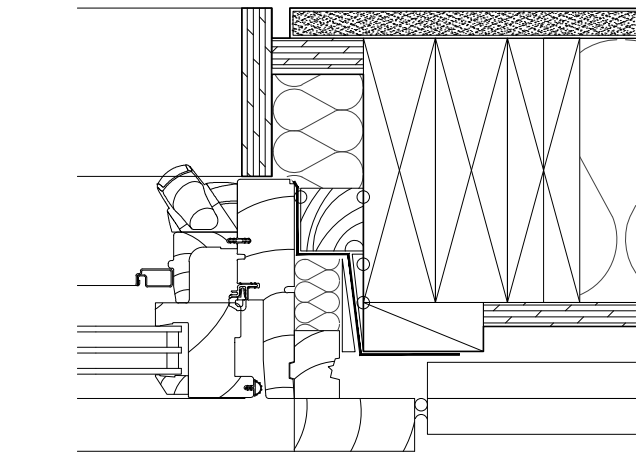
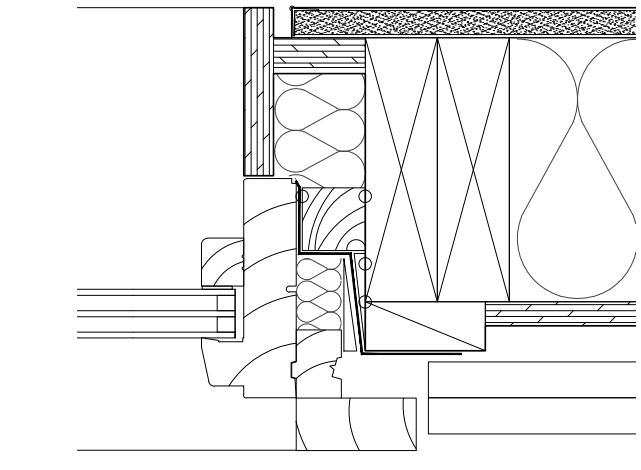
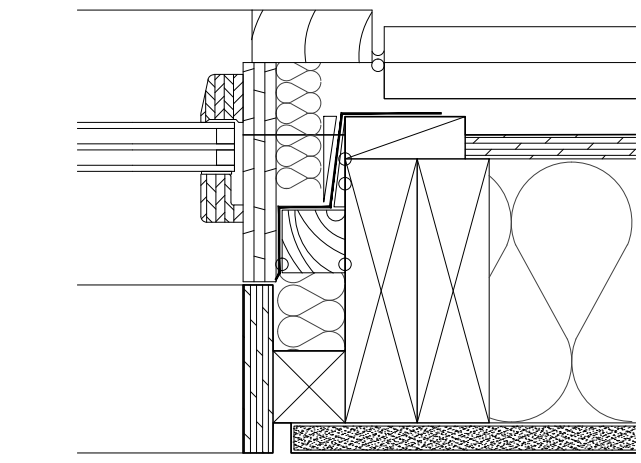
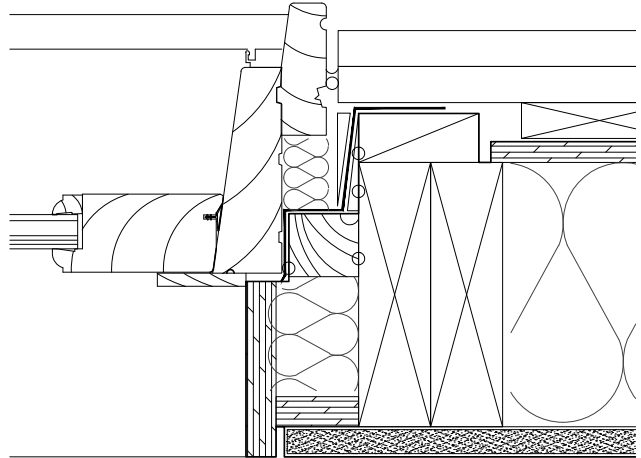
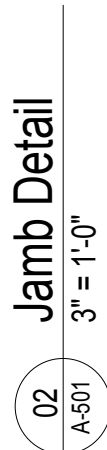
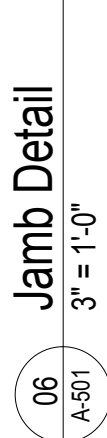
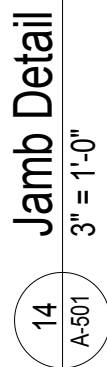
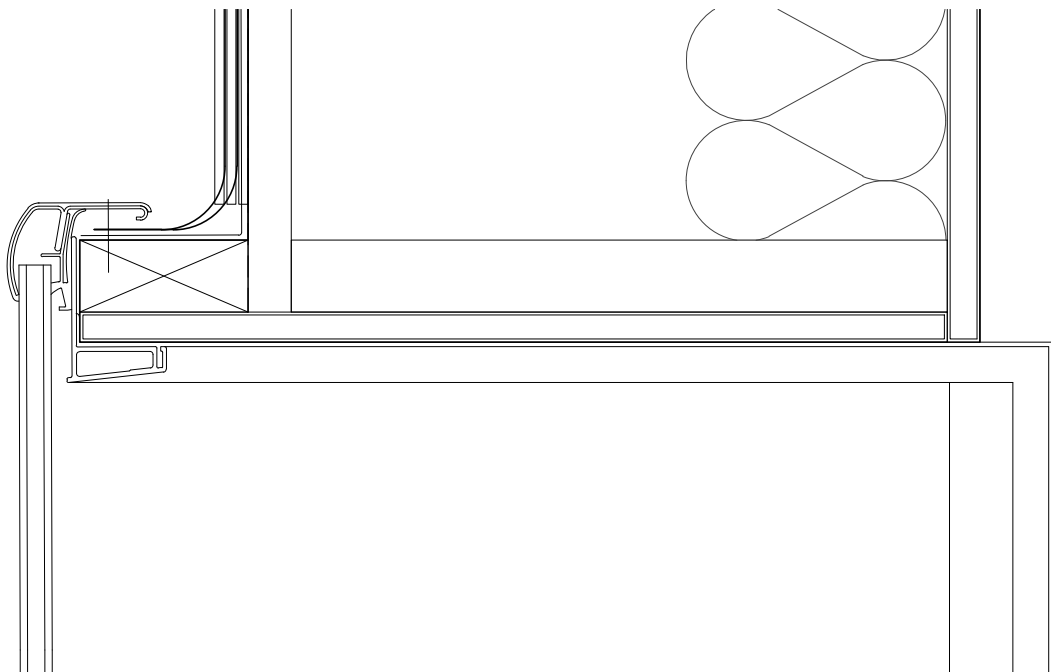
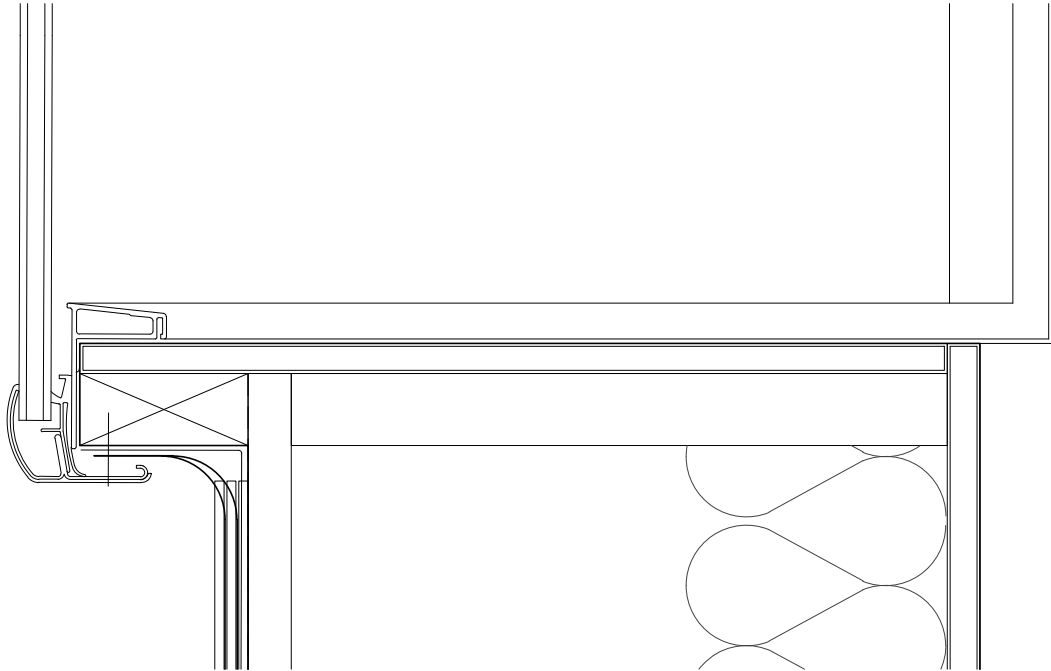
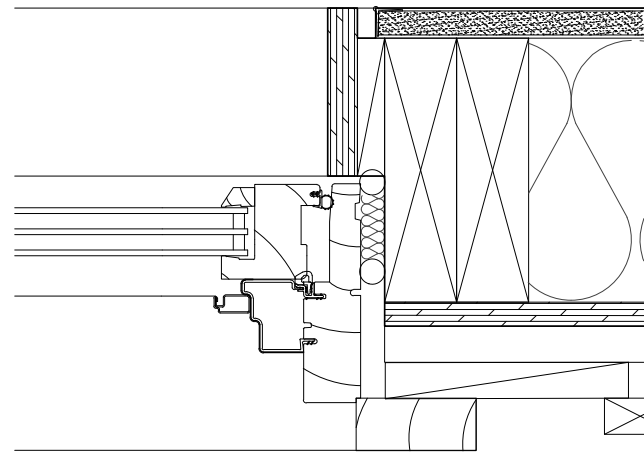
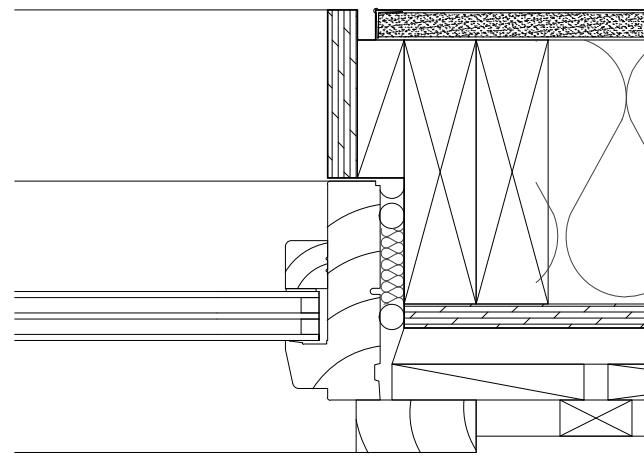
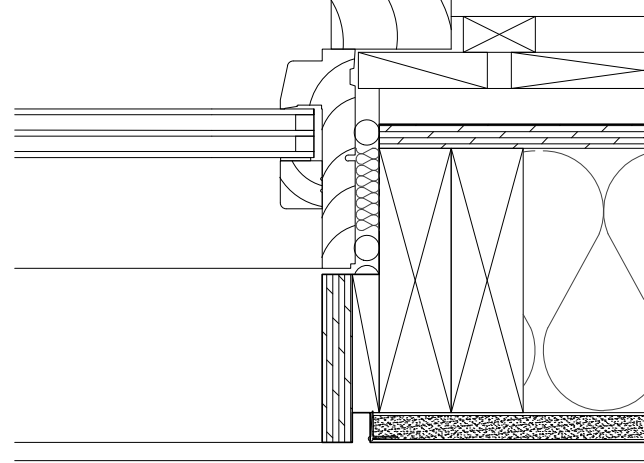
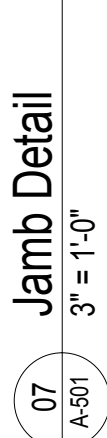
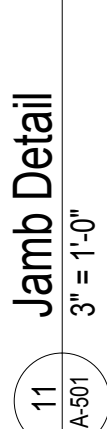
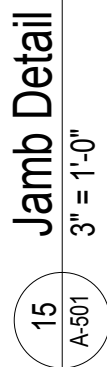
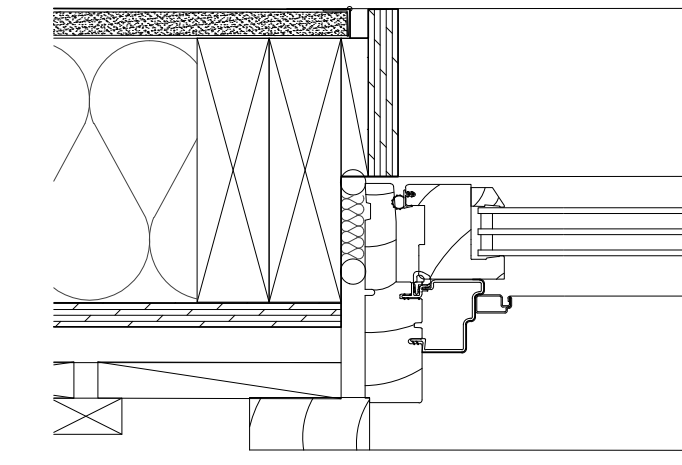
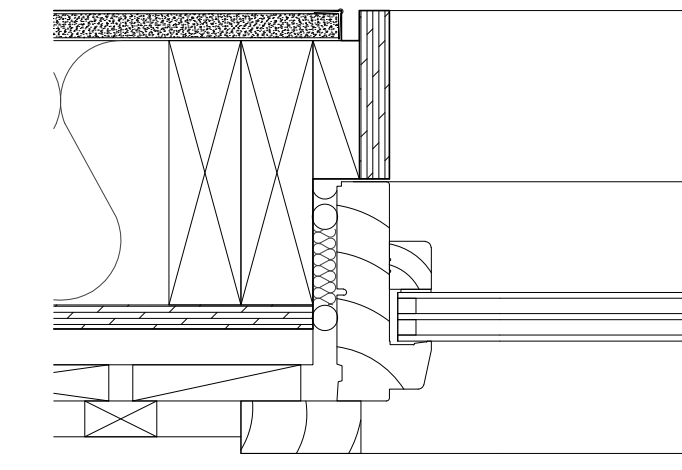
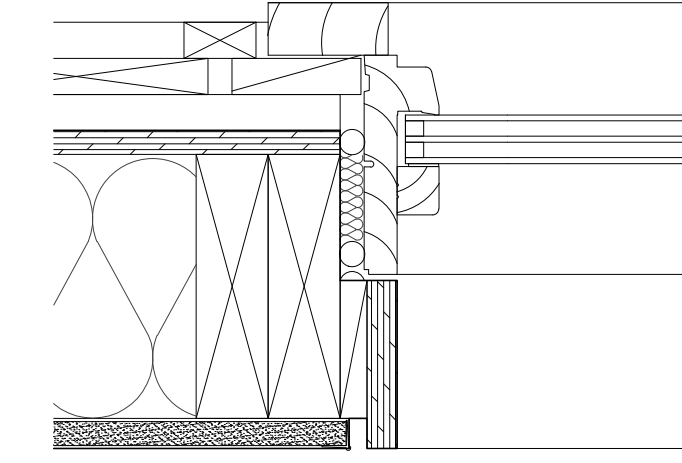
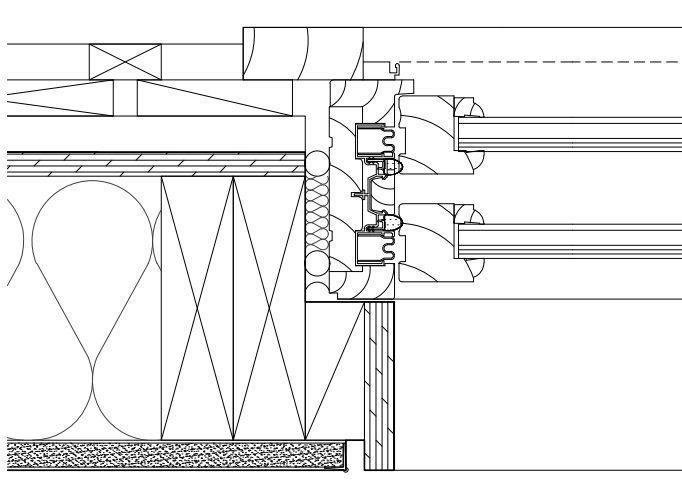
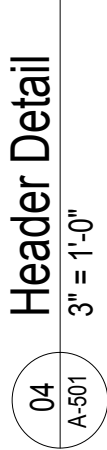
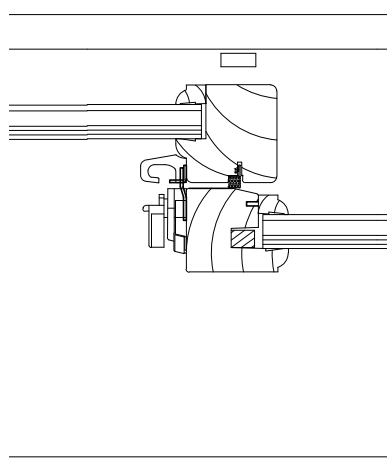
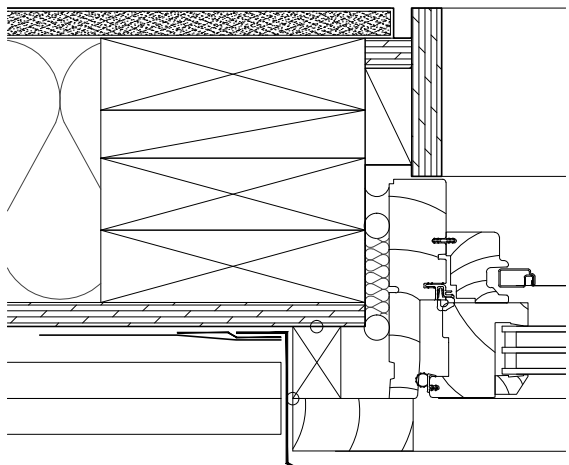
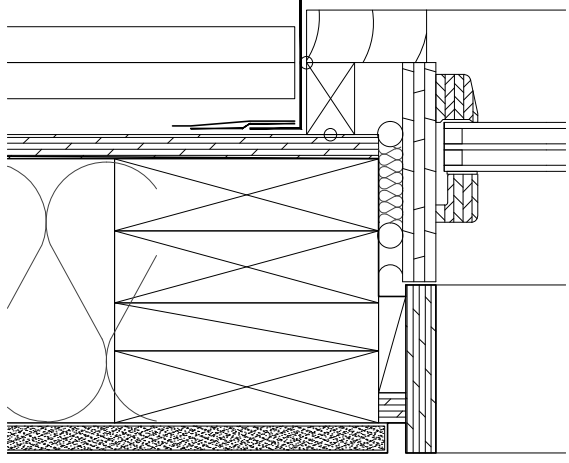
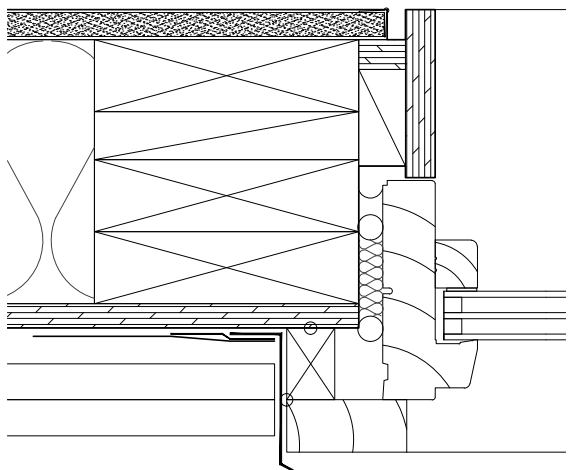
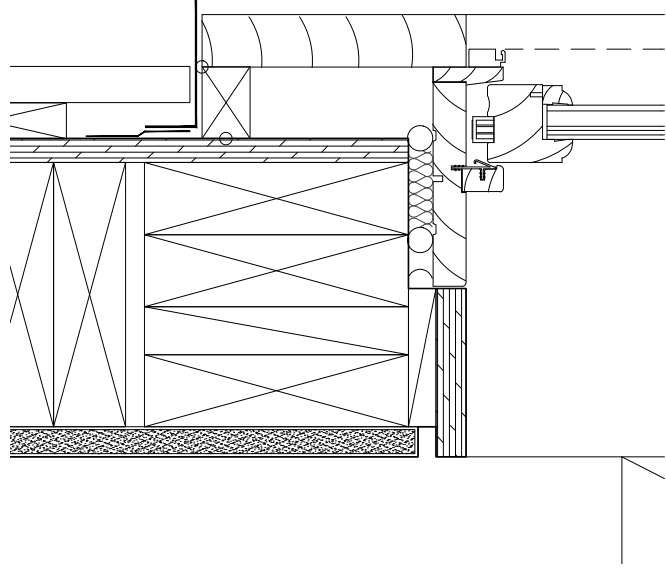
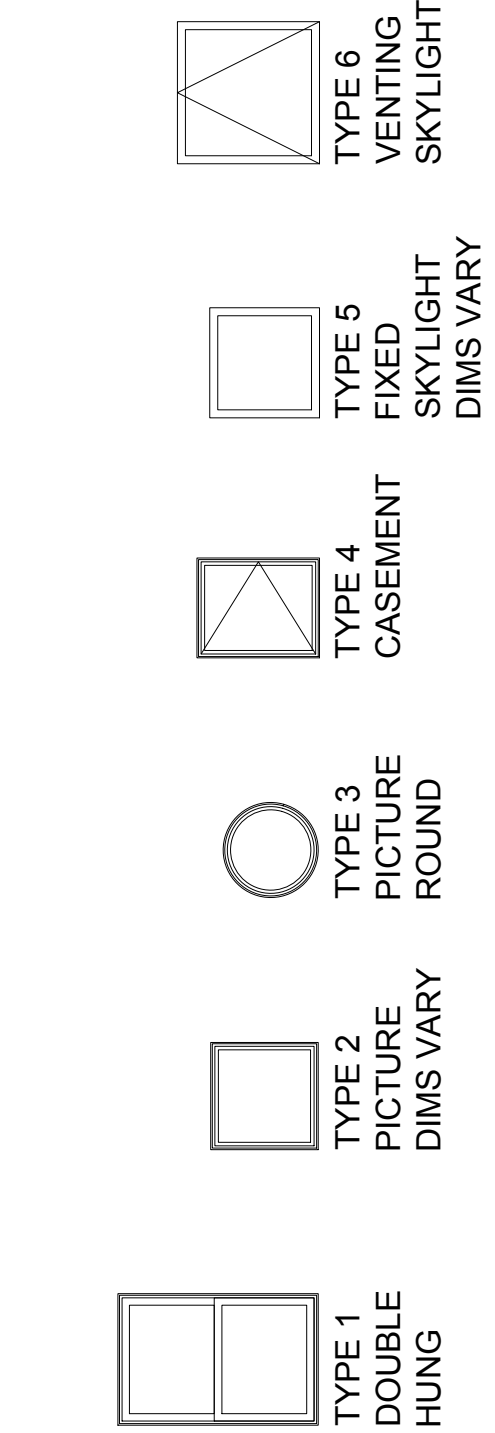


DOOR SCHEDULE

DOOR #	ROOM NAME	TYPE	DOOR SET #	FINISH	Wt of LEAVES	DOOR HEIGHT	DOOR WIDTH	ROUGH OPEN HEIGHT	ROUGH OPEN WIDTH	DOOR THICKNESS	STRIKE DTL	JAMB DTL	SILL DTL	HEAD DTL	JOIST AFF	REMARKS
0001	VESTIBULE	EXIST	-	-	1	-	-	-	-	-	02x60	02x60	01x60	04x60	58" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0102	PORCH	EXIST	-	-	P2	-	-	-	-	-	-	-	-	-	-	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0103	BEROUM 02	1 TRD WOOD P2	1	36"	60"	35'4"	62'4"	62'4"	35'4"	1 3/4"	07x60	06x60	05x60	08x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0104	CLOSE 01	5 TRD WOOD P2	1	32"	60"	31"	61'14"	61'14"	31"	1 3/4"	-	33x60	31x60	34x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0105A	MASTERBATH	6 TRD WOOD P2	1	36"	60"	33'8"	61'14"	61'14"	33'8"	1 3/4"	32x60	33x60	31x60	34x60	38" AFF	STONE SILL TO MATCH DOOR
0105B	MASTERBATH	2 TRD WOOD P2	1	24"	60"	36"	62'4"	62'4"	36"	1 3/4"	07x60	06x60	05x60	08x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0106	CLOSE 02	4 TRD WOOD S1	2	15'12"	58'14"	40'8"	58'14"	58'14"	40'8"	3"	25x60	24x60	23x60	26x60	-	REFER M07 FOR SILLING
0109	DINING ROOM	4 TRD WOOD S1	4	11'38"	79"	47'12"	60'12"	60'12"	47'12"	3"	25x60	24x60	23x60	26x60	-	REFER M08 FOR SILLING
0111A	MUDROOM	1 TRD WOOD P2	1	36"	60"	35'4"	62'4"	62'4"	35'4"	1 3/4"	07x60	06x60	05x60	08x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0111B	MUDROOM	1 TRD WOOD P2	1	36"	60"	35'4"	62'4"	62'4"	35'4"	1 3/4"	07x60	06x60	05x60	08x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0112A	CLOSE 03	4 TRD WOOD S1	2	18'34"	37'38"	20'14"	37'12"	37'12"	20'14"	3"	25x60	24x60	23x60	26x60	-	REFER M08 FOR SILLING
0113	MEN'S CLOSET	3 TRD WOOD P2	2	36"	60"	68'12"	61'14"	61'14"	68'12"	1 3/4"	26x60	26x60	21x60	30x60	60" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0202	BEROUM 02	EXIST	-	-	P2	2	-	-	-	-	-	-	-	-	-	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0203	BEROUM 01	EXIST	-	-	P2	1	-	-	-	-	-	-	-	-	-	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0204	CLOSE 01	7 TRD WOOD P2	1	30"	72"	33'8"	72'18"	72'18"	33'8"	1 3/4"	07x60	06x60	05x60	08x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0205A	OFFICE	8 TRD WOOD P2	2	28"	72"	31'8"	73"	73"	31'8"	1 3/4"	16x60	15x60	14x60	17x60	38" AFF	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED
0205B	HALLWAY	9 TRD GLASS P1	2	42'3/4"	72"	63'18"	74'38"	74'38"	63'18"	1 3/4"	06x60	11x60	08x60	13x60	-	EXIST DOOR LEAF AND HEAD TO BE REINSTALLED

Door Types	
01	1/2" = 1'-0"
A-500	

WINDOW SCHEDULE																
WINDOW #	ROOM #	TYPE	MANUFACTURER	SPECIFICATION	ROUGH SILL HEIGHT	ROUGH OPEN WIDTH	ROUGH OPEN HEIGHT	WIDTH	HEIGHT	JAMB DETAIL	SILL DETAIL	HEAD DETAIL	EXT FINISH	INT FINISH	GLAZING MATERIAL	REMARKS
1-A	0103	EXIST	EXIST	-	-	-	-	-	-	-	-	-	EP2	PT1	-	-
1-B	0103	EXIST	EXIST	-	-	-	-	-	-	-	-	-	EP2	PT1	-	-
1-C	0106	1	MARVIN	ULTIMATE WOOD	33.58"	34.12"	51.12"	33.12"	49.12"	14A501	13A501	11A501	EP2	PT1	TPHANE	ORDER WITH FLAT FRAME
1-D	0106	2	MARVIN	COCKEY-RANG PICTURE	38.38"	38.14"	21.14"	21.14"	21.14"	07A501	05A501	03A501	EP2	PT1	TPHANE	ORDER WITH FLAT FRAME
1-E	0107	2	MARVIN	ULTIMATE WOOD PICTURE	30.14"	40"	41"	39"	39"	07A501	05A501	06A501	EP1	PT1	TPHANE	ORDER WITH FLAT FRAME
1-F	0107	2	MARVIN	ULTIMATE WOOD PICTURE	38.38"	23.14"	21.14"	21.14"	21.14"	07A501	05A501	06A501	EP1	PT1	TPHANE	ORDER WITH FLAT FRAME
1-G	0110	2	MARVIN	ULTIMATE WOOD PICTURE	22.18"	58"	59"	59"	57"	07A501	05A501	06A501	EP1	PT1	TPHANE	ORDER WITH FLAT FRAME
1-H	0110	2	MARVIN	ULTIMATE WOOD PICTURE	30.38"	28.14"	21.14"	21.14"	21.14"	07A501	05A501	06A501	EP1	PT1	TPHANE	ORDER WITH FLAT FRAME
1-I	0111	3	MARVIN	ULTIMATE WOOD ROUND	54"	24.14"	25.14"	23.14"	23.14"	11A501	09A501	12A501	EP1	PT1	TPHANE	ORDER WITH FLAT FRAME
2-A	0203	EXIST	EXIST	-	-	-	-	-	-	-	-	-	EP2	PT1	-	-
2-B	0203	EXIST	EXIST	-	-	-	-	-	-	-	-	-	EP2	PT1	-	-
2-C	0206	3	MARVIN	ULTIMATE WOOD ROUND	117"	24.14"	25.14"	23.14"	23.14"	0A501	09A501	12A501	VINYL	PT1	TPHANE	ORDER WITH FLAT FRAME
2-D	0206	4	MARVIN	ULTIMATE WOOD CASSETT	121.12"	25.88"	33.14"	24.88"	32.14"	02A501	01A501	04A501	VINYL	PT1	TPHANE	ORDER WITH FLAT FRAME
2-E	0106	5	VELUX	FIXED CURB MOUNT	-	22.12"	22.12"	25.12"	25.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-F	0106	5	VELUX	FIXED CURB MOUNT	-	22.12"	22.12"	25.12"	25.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-G	0106	5	VELUX	FIXED CURB MOUNT	-	22.12"	22.12"	25.12"	25.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-H	0205	6	VELUX	VENTING CURB MOUNT	-	30.12"	30.12"	33.12"	33.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-I	0206	6	VELUX	VENTING CURB MOUNT	-	30.12"	30.12"	33.12"	33.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-J	0206	6	VELUX	VENTING CURB MOUNT	-	30.12"	30.12"	33.12"	33.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-
2-K	0210	5	VELUX	VENTING CURB MOUNT	-	30.12"	30.12"	33.12"	33.12"	18A501	14A501	19A501	VINYL	PT1	LAMINATED GLASS	-

[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION

IAN MINOZ + SOPHIE RIESE, OWNERS		DATE
		DATE
GALEN PAROLE, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
WINDOW DETAILS, SCHEDULES		
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING No.: CHECKED BY: GP DRAWING NUMBER:	A-501.00 CAD FILE No.: PAGE : OF 78

[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION

IAN MUNOZ + SOPHIE RIESE, OWNERS	DATE
	DATE
GALEN PARDEE, DESIGNER	DATE

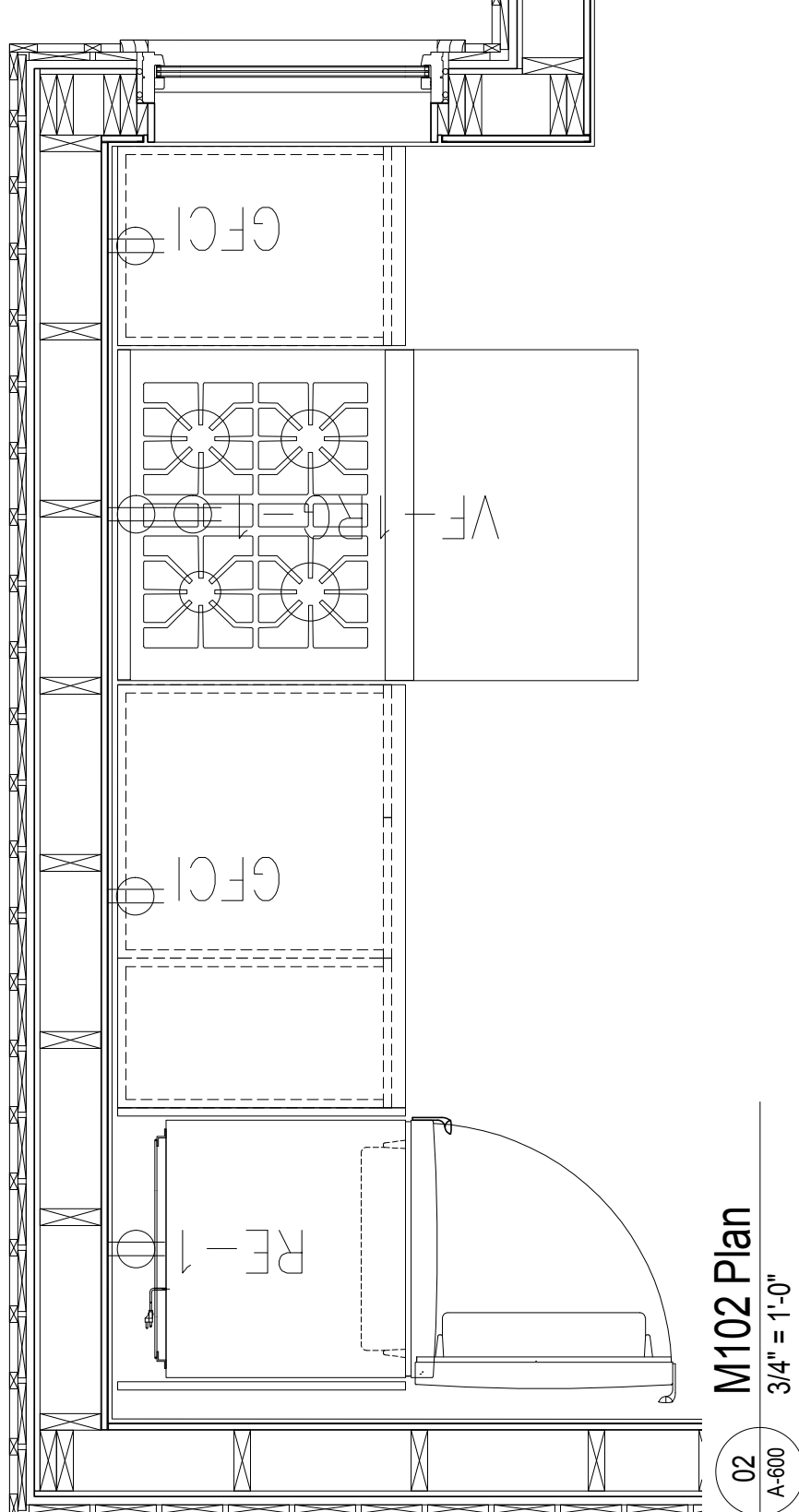
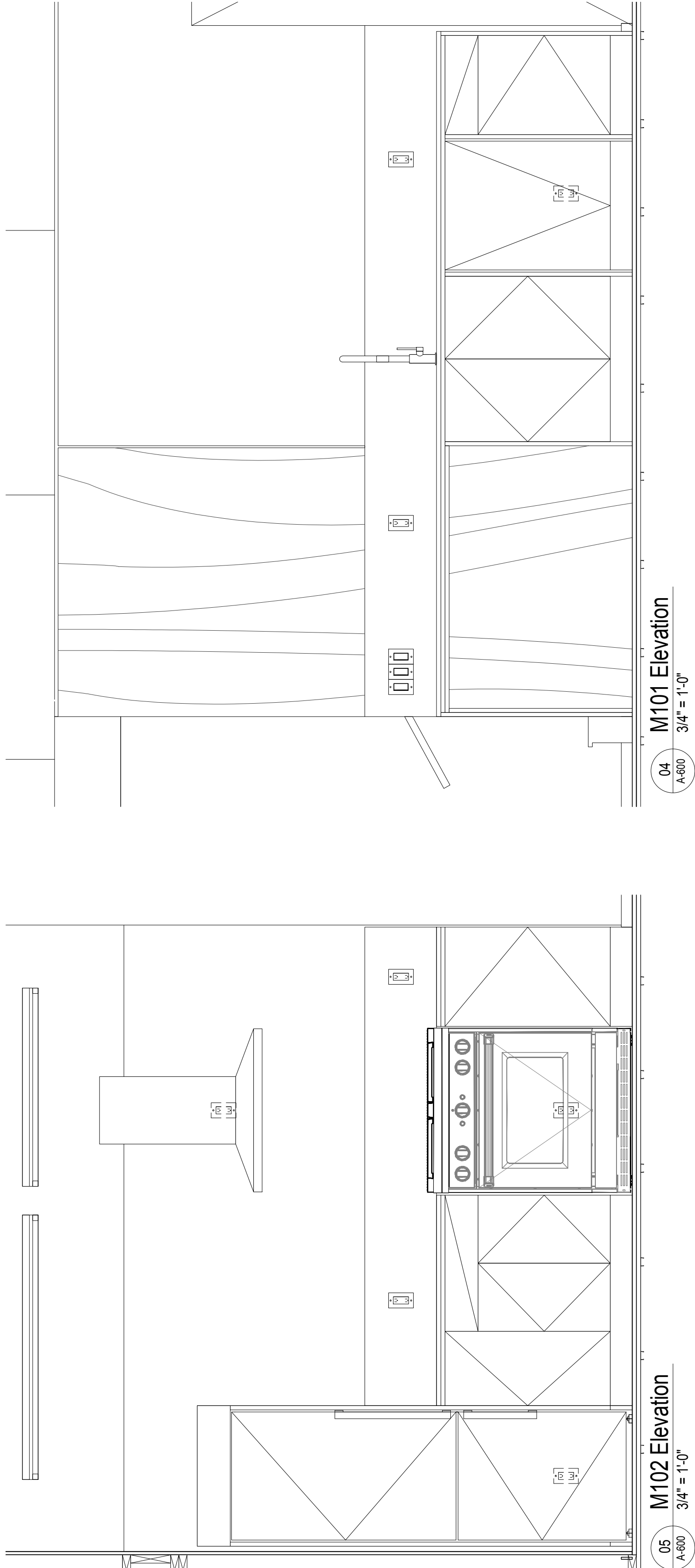
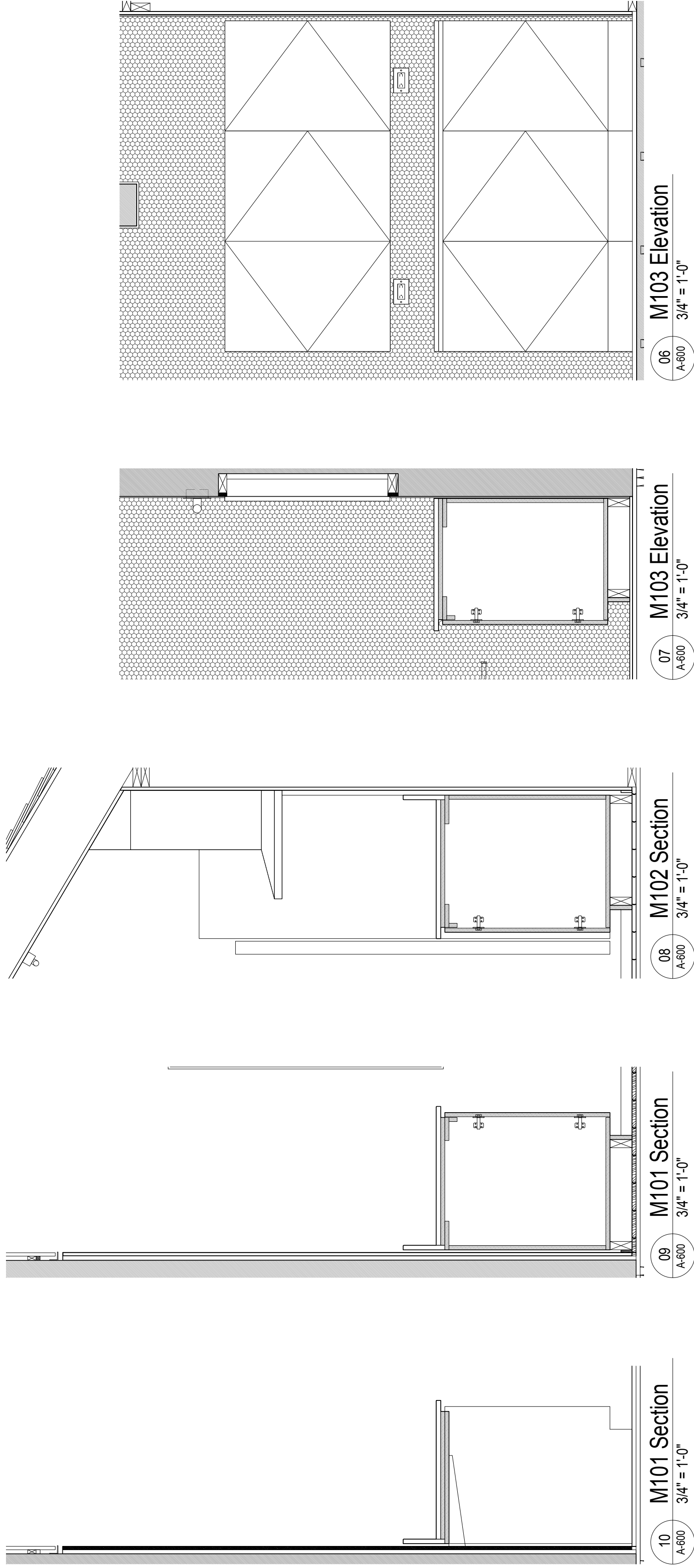
© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC; and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.

PROJECT:
LEADVILLE HOUSE
ADDITION

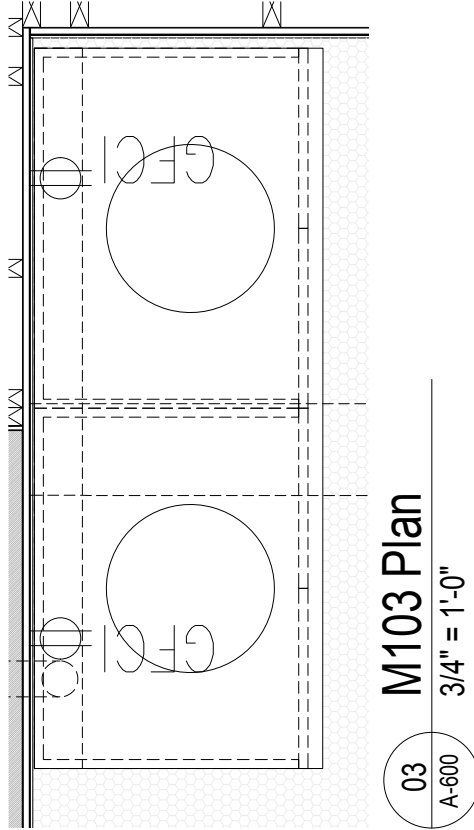
139 East 9th Street
Leadville, CO 80461

CABINETRY, MILLWORK SCHEDULE, MILLWORK FINISH SCHEDULE

DATE:	01/10/22
PROJECT No:	2015
DRAWING BY:	
CHECKED BY:	GP
DRAWING NUMBER:	
A-600.00	
CAD FILE No.:	PAGE : OF XX



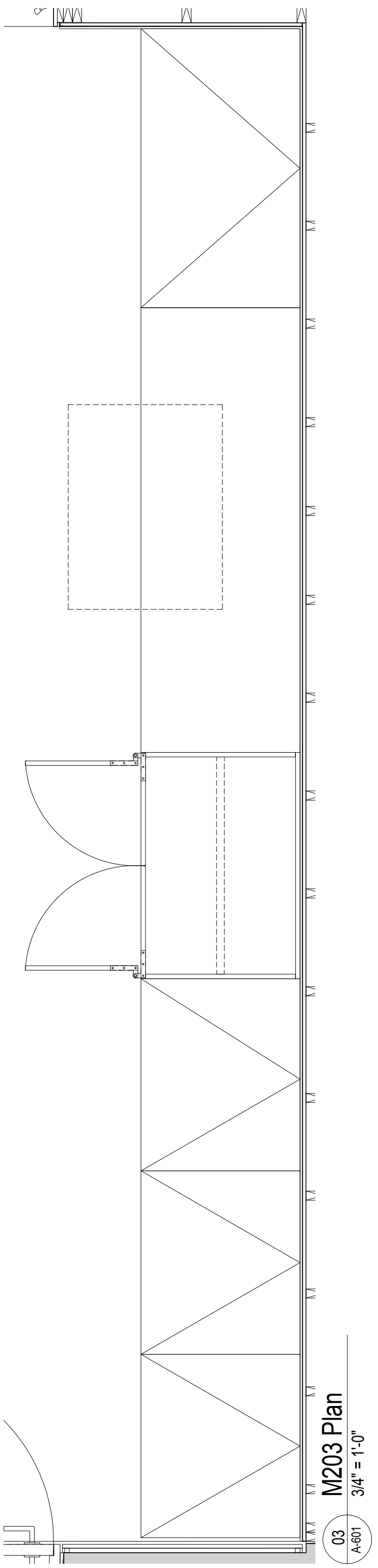
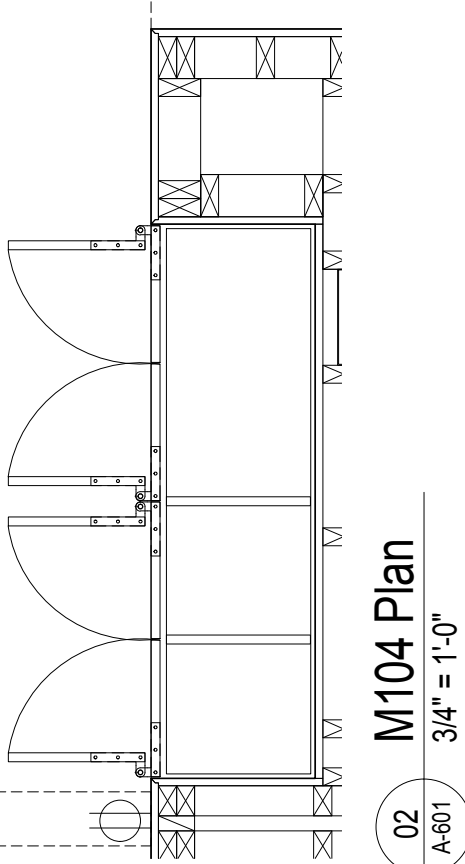
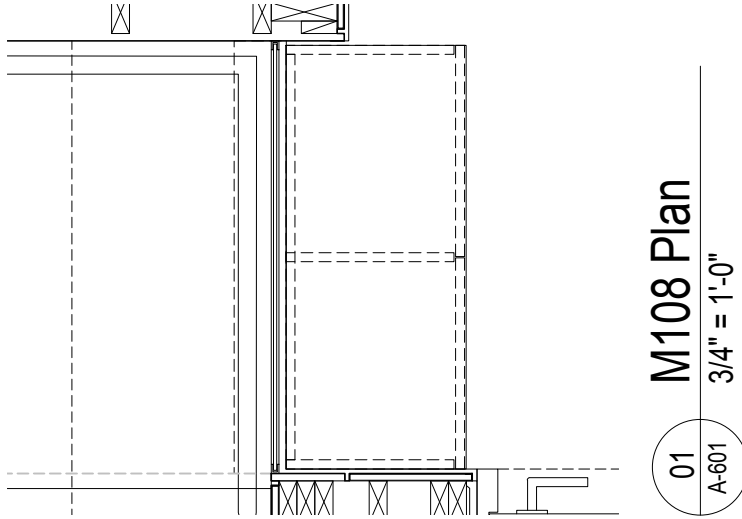
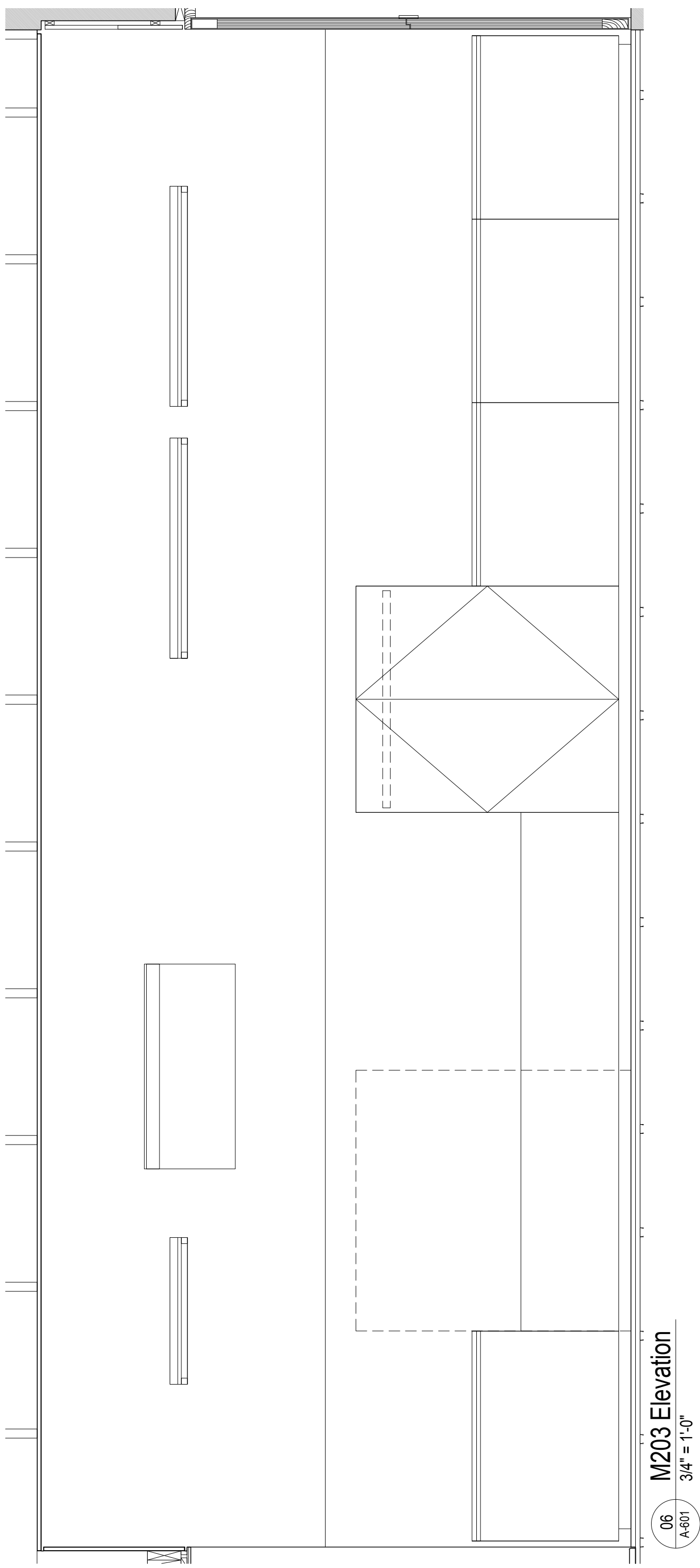
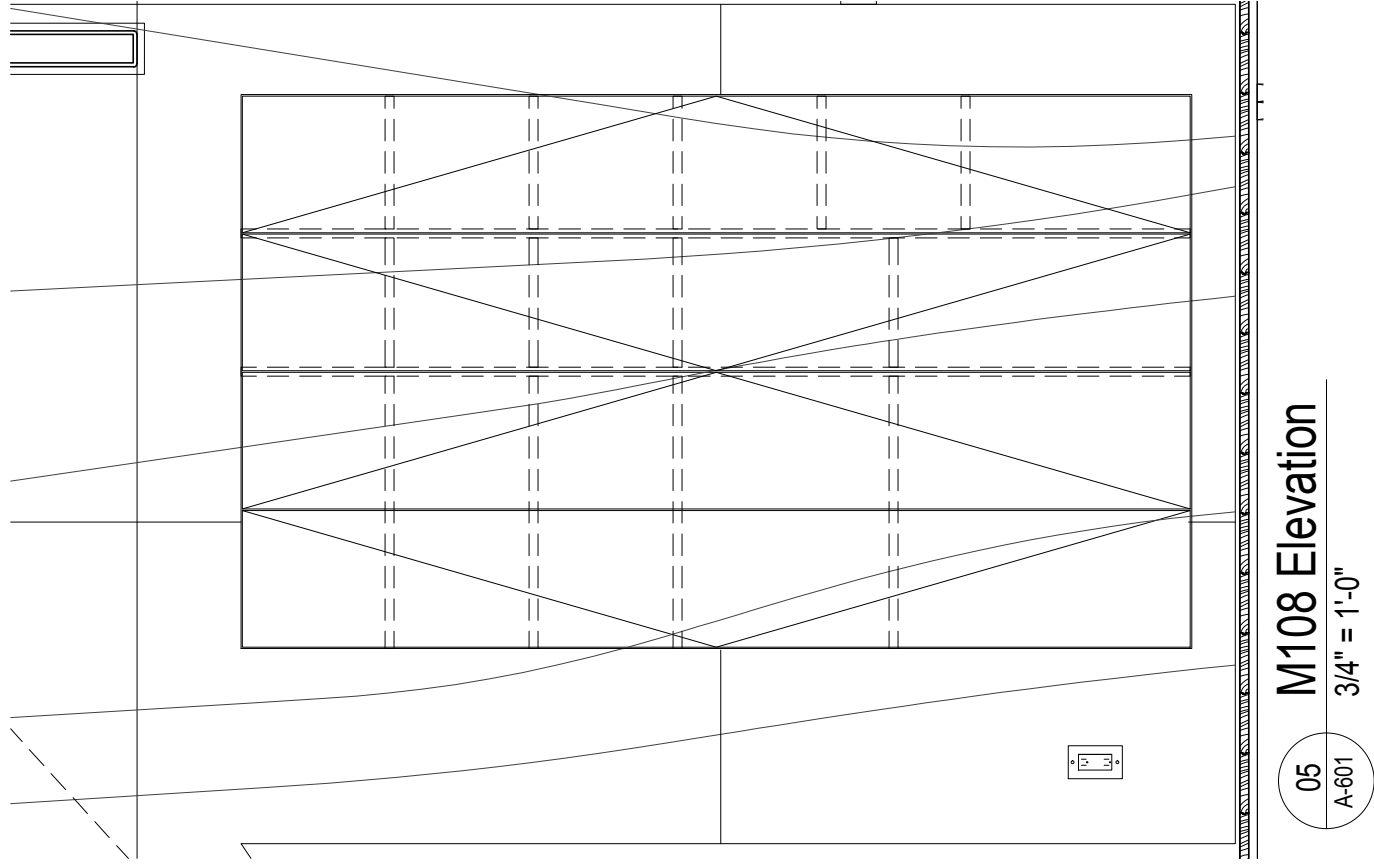
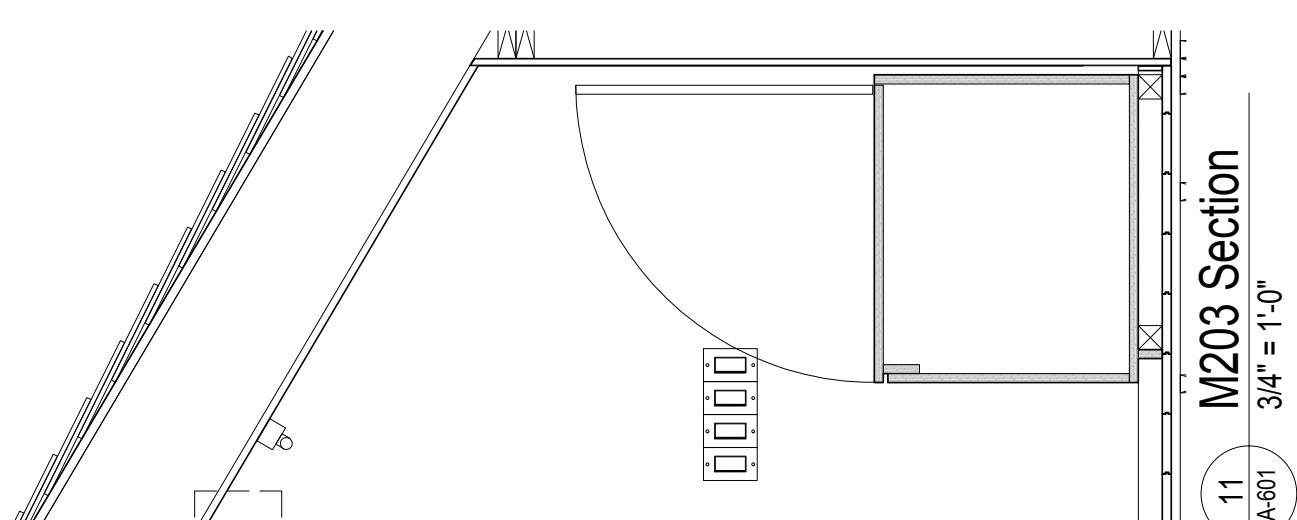
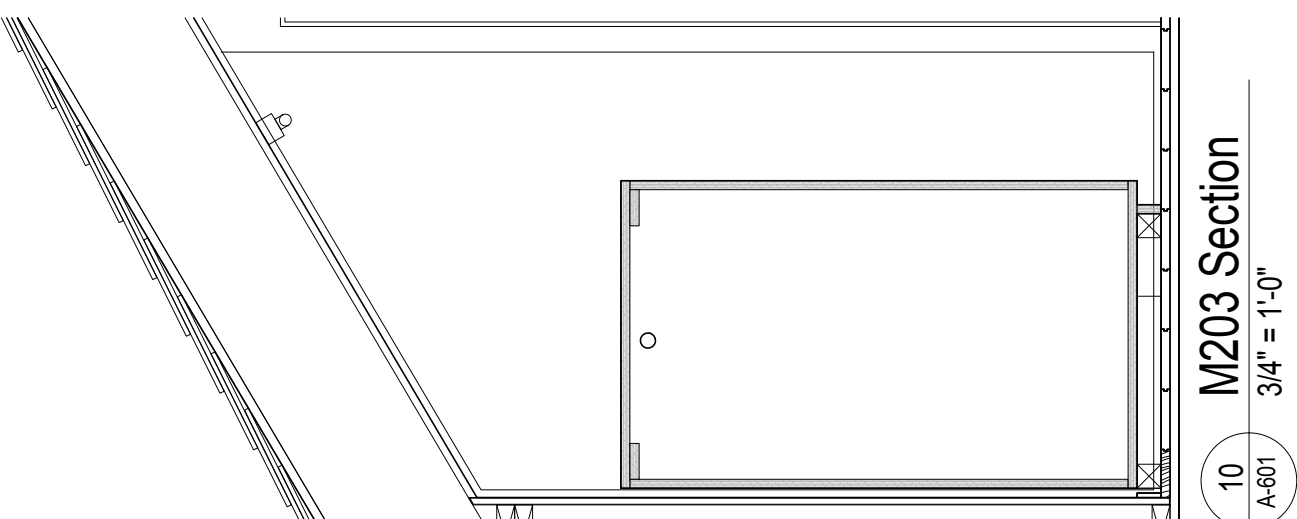
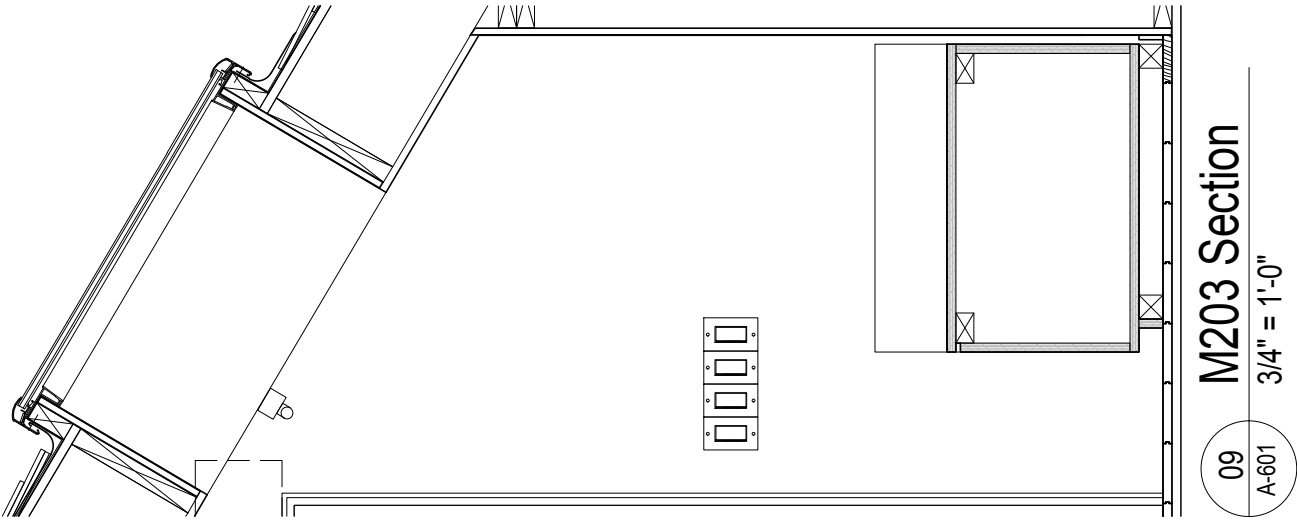
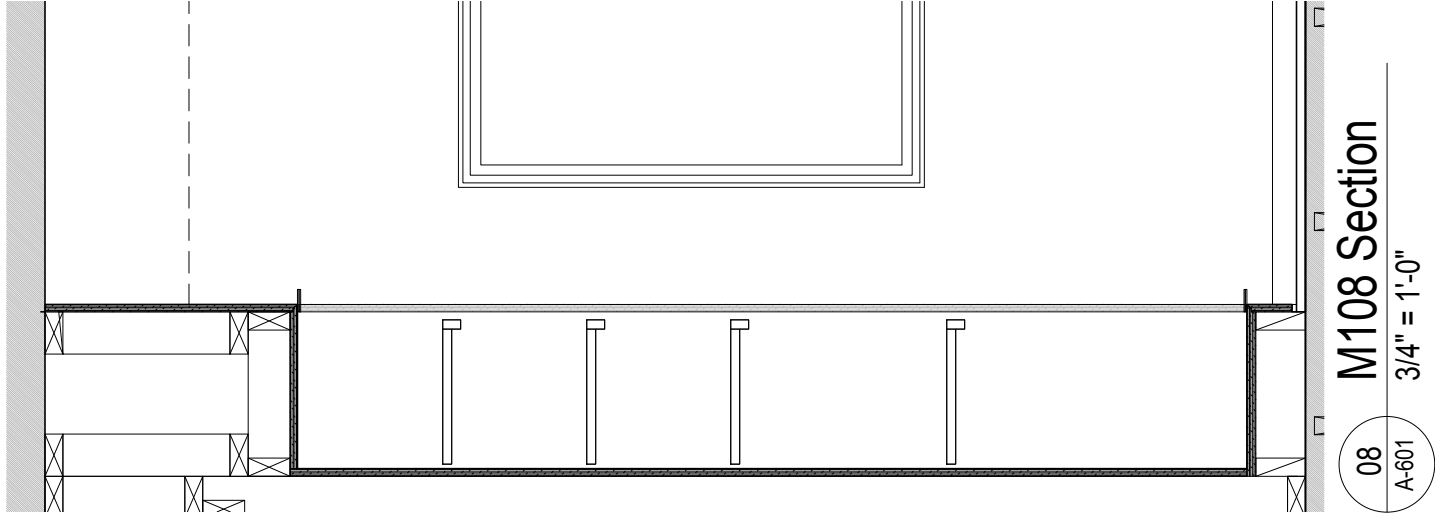
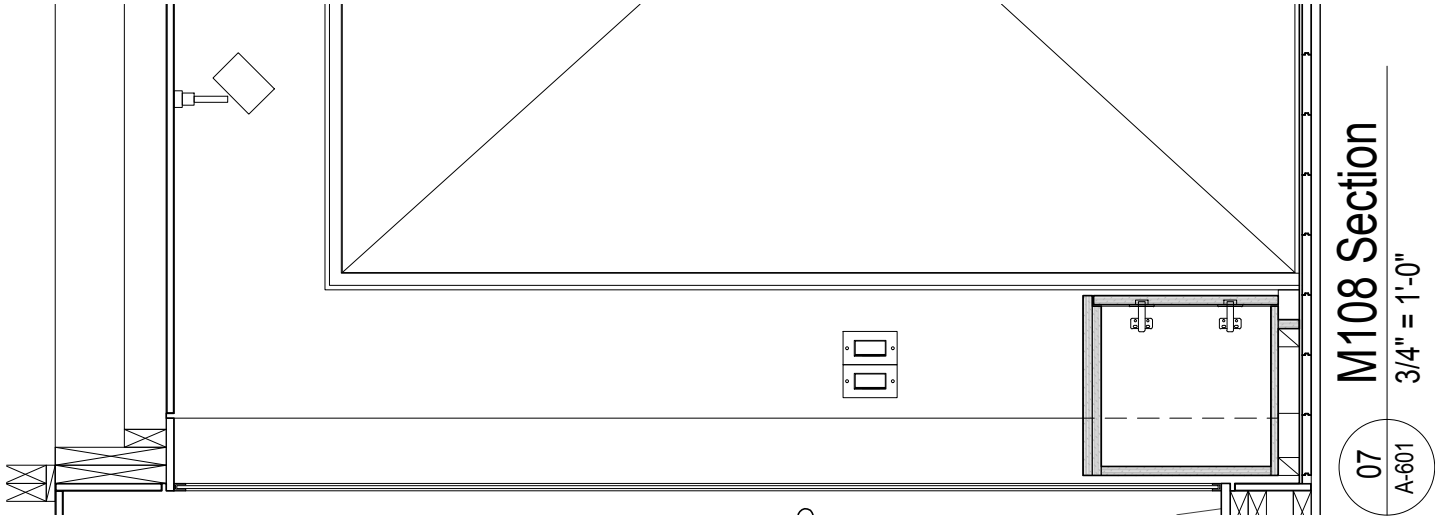
MILLWORK SCHEDULE				
TYPE	CAB. NO.	FINISHES	DIMENSIONS	NOTES
MILLWORK				
KITCHEN COUNTER	M-101	CASERSTONE (C1-1) COUNTERTOP/BACKPLASH, LAMINATE (FM-1) CABINET FACES, 3/4" MAPLE PLYWOOD INTERIOR (PL-1)	26" DEPTH, 112 36" LENGTH, 112 HEIGHT VARIES	SOFT CLOSE HARDWARE
		CASERSTONE (C1-1) COUNTERTOP/BACKPLASH, LAMINATE (FM-1) CABINET FACES, 3/4" MAPLE PLYWOOD INTERIOR (PL-1)	26" DEPTH, 124 112" LENGTH, 36" HEIGHT	SOFT CLOSE HARDWARE ON CABINET DOORS
KITCHEN COUNTER WITH SEATING	M-102	CASERSTONE (C1-1) COUNTERTOP/ LAMINATE (FM-1) CABINET FACES, 3/4" MAPLE PLYWOOD INTERIOR (PL-1)	24" DEPTH, 60" LENGTH, 36" HEIGHT	SOFT CLOSE HARDWARE ON CABINET DOORS
BATHROOM COUNTER	M-103	3/4" MAPLE PLYWOOD (PL-1)	17" DEPTH, LENGTH VARIES	
PANTRY SHELVES	M-104	3/4" MAPLE PLYWOOD (PL-1)	11 3/8" DEPTH, 61 1/4" LENGTH	
CLOSET SHELVES	M-105	3/4" MAPLE PLYWOOD (PL-1)	18" DEPTH, 42 1/2" LENGTH	
DOUBLE CLOSET	M-106	3/4" MAPLE PLYWOOD (PL-1), 2X CLOSET RODS	13" DEPTH, 43 1/4" LENGTH	
SINGLE CLOSET	M-107	3/4" MAPLE PLYWOOD (PL-1) CLOSET ROD	15" DEPTH, 35 1/4" LENGTH, 18" HEIGHT	PIN/HINGE OPENING ON TOP
BENCH AND STORAGE	M-108	3/4" MAPLE PLYWOOD (PL-1)	18" DEPTH, 18 1/2" LENGTH	
SINGLE CLOSET	M-109	3/4" MAPLE PLYWOOD (PL-1) CLOSET ROD	18" DEPTH, 39 3/8" LENGTH	
SINGLE CLOSET	M-201	3/4" MAPLE PLYWOOD (PL-1) CLOSET ROD	14" DEPTH, 54 1/2" LENGTH	
SINGLE CLOSET SHELF	M-202	3/4" MAPLE PLYWOOD (PL-1)	26" DEPTH, 246 3/4"	PIN/HINGE OPENING ON TOP, SOFT CLOSE HARDWARE ON CABINET DOORS
STORAGE BINS AND BENCH	M-203	3/4" MAPLE PLYWOOD (PL-1) CLOSET ROD	HEIGHT, LENGTH VARIES	
OPEN SHELVING	M-204	3/4" MAPLE PLYWOOD (PL-1)	14" DEPTH, 31 1/4" LENGTH	



[illegible]

DRAWING AGENCY

NOT FOR
CONSTRUCTION

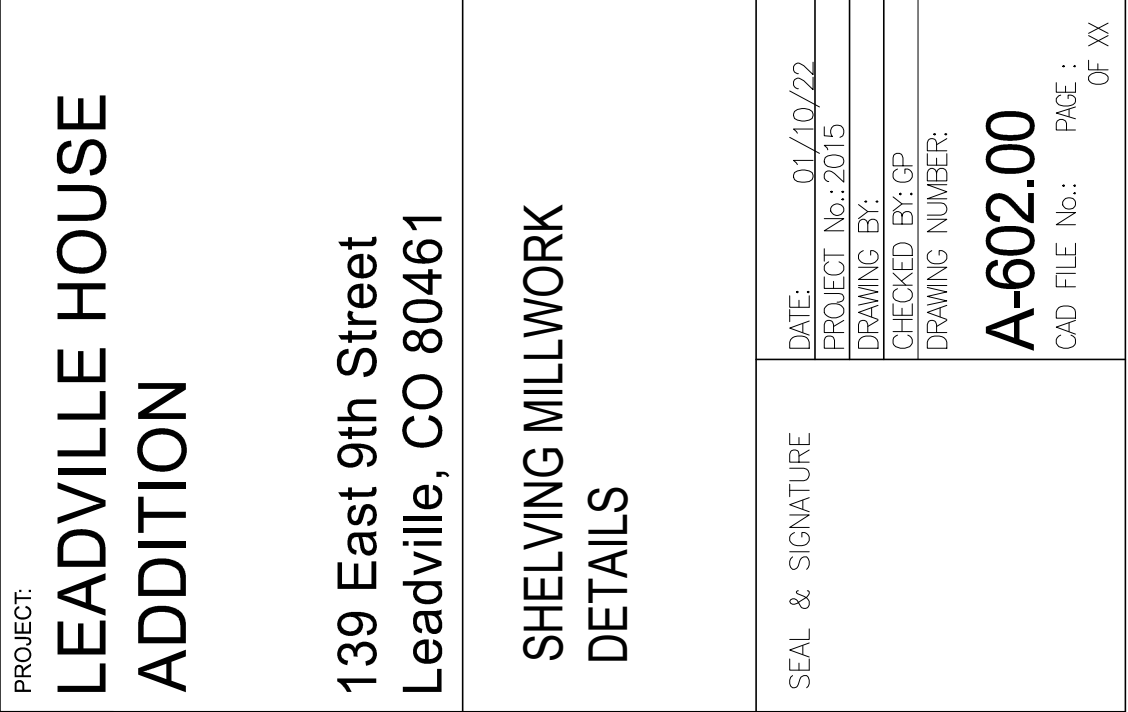
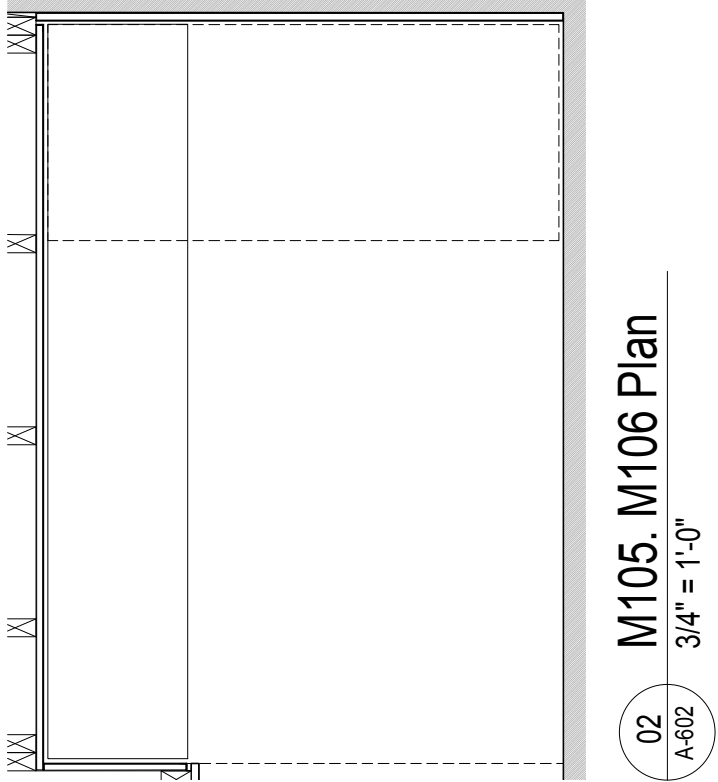
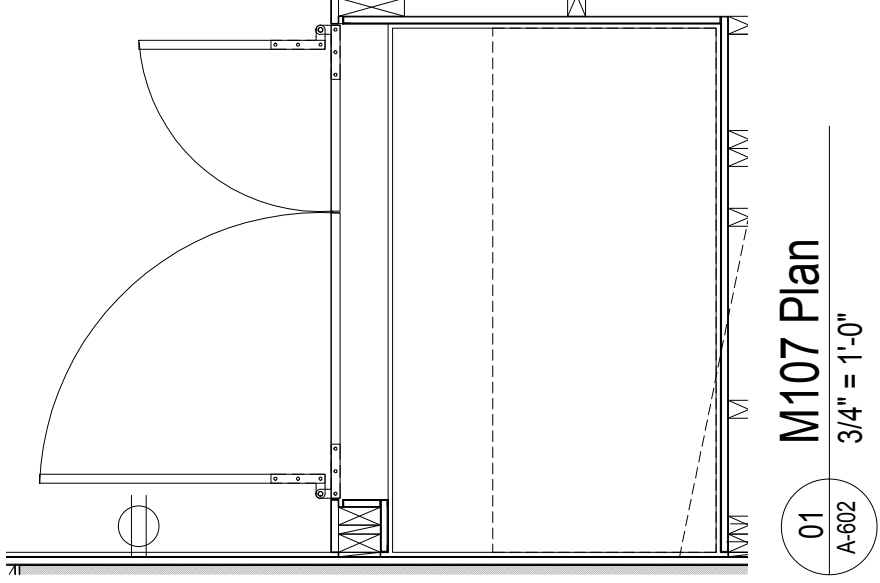
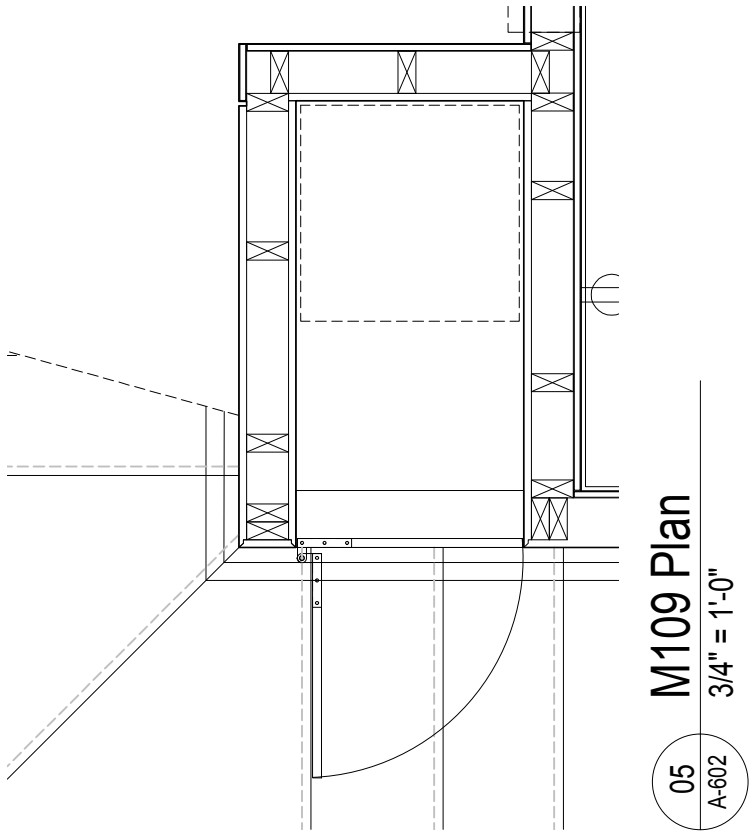
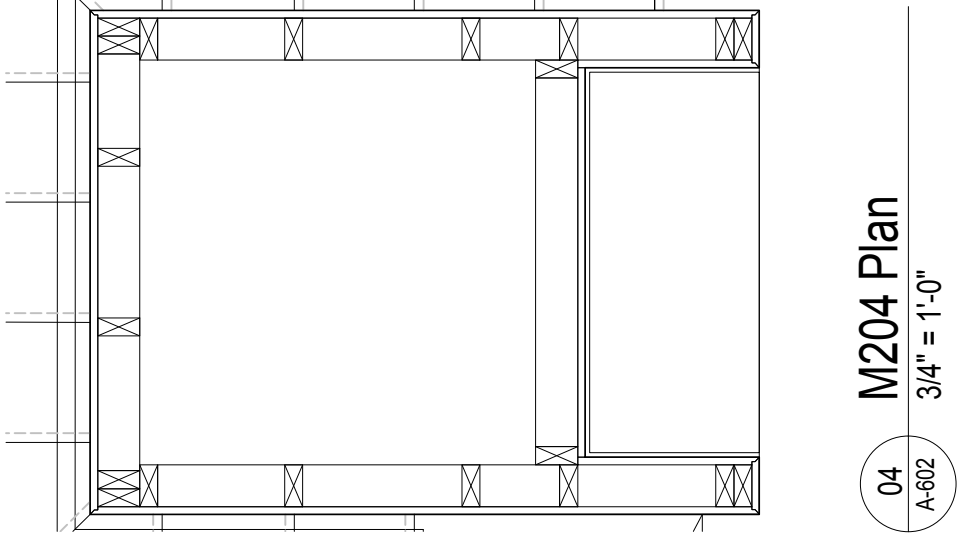
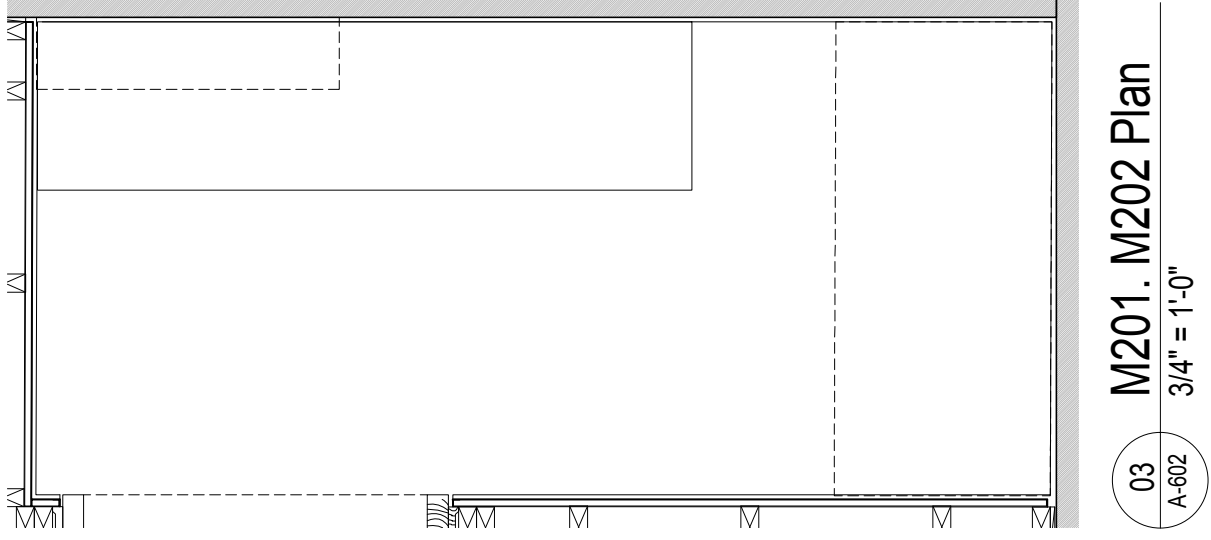
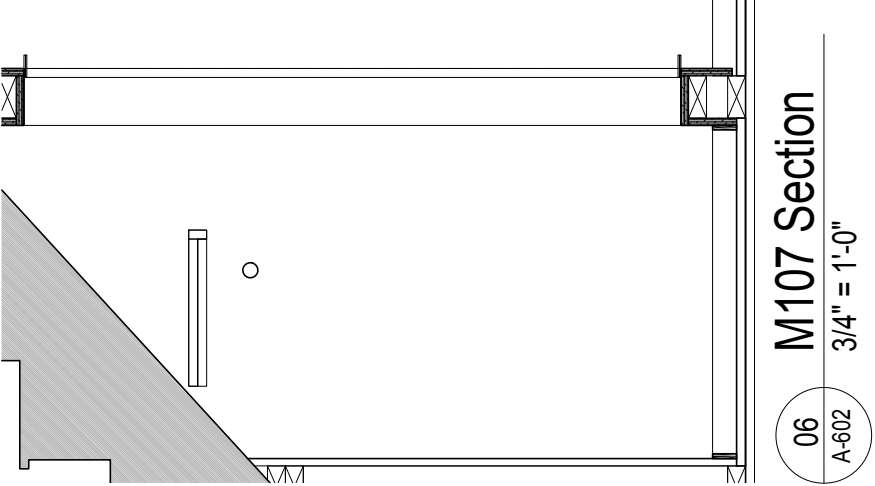
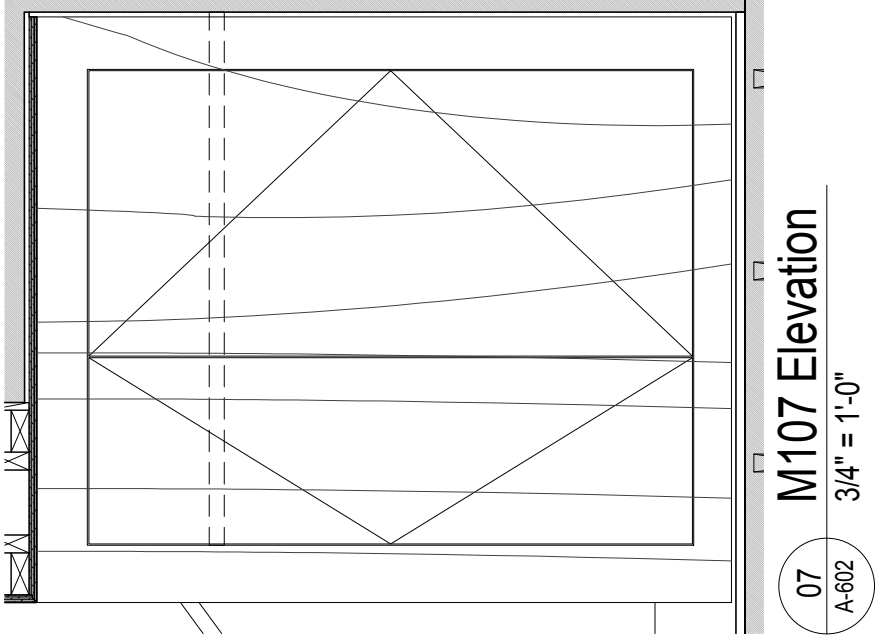
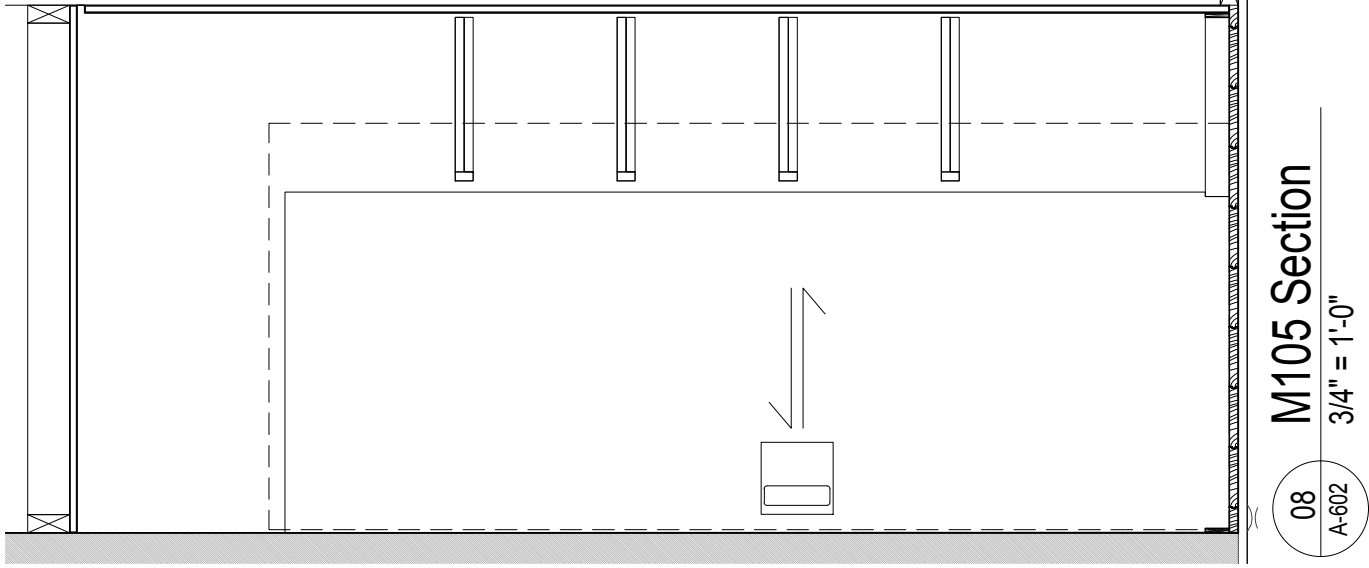
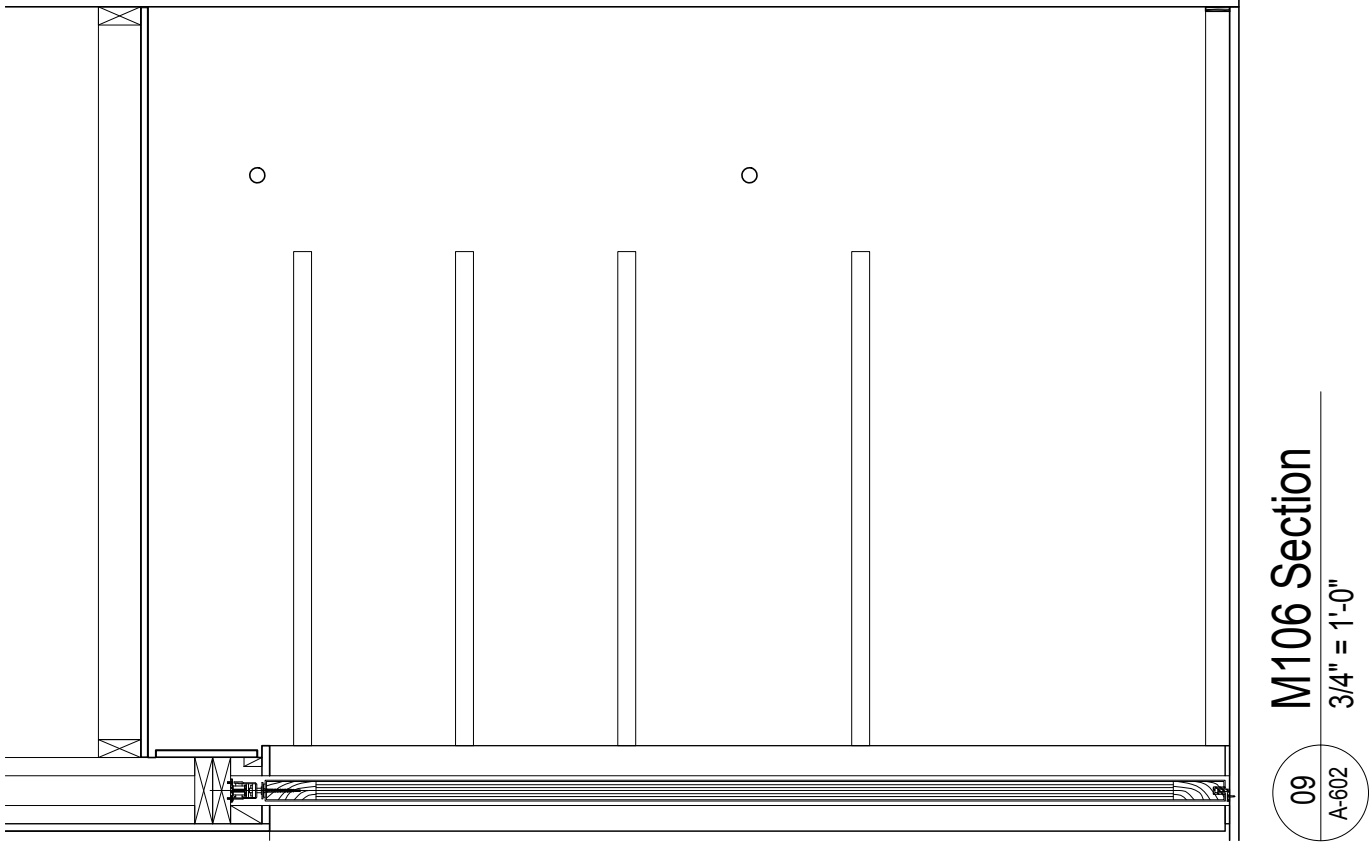
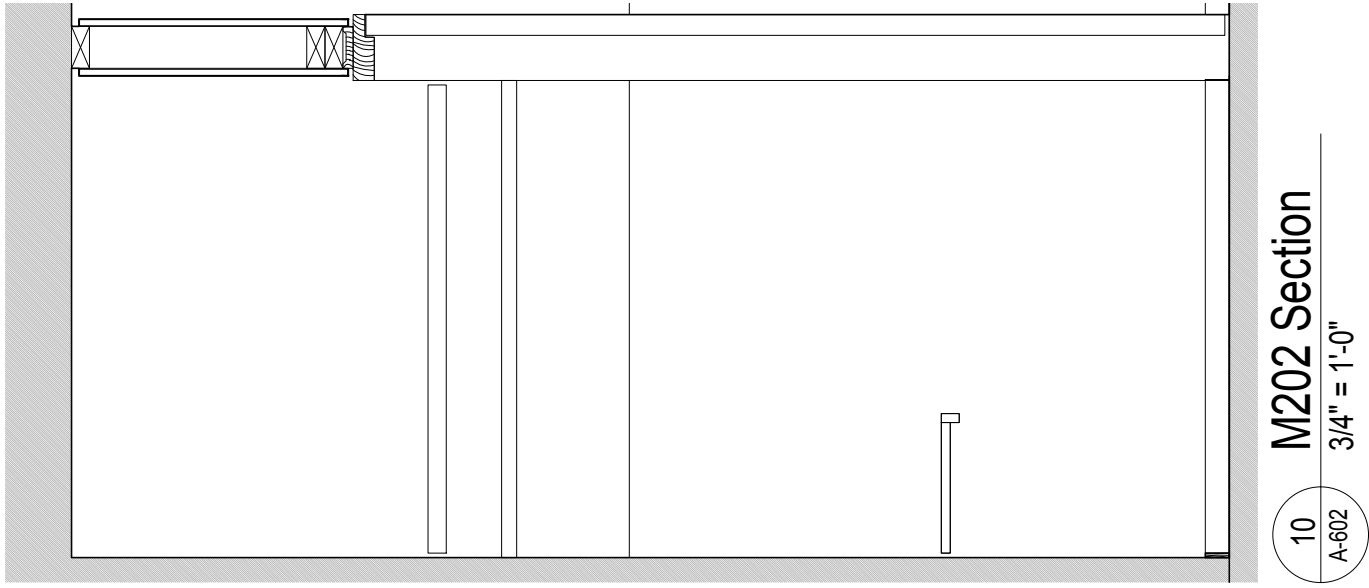
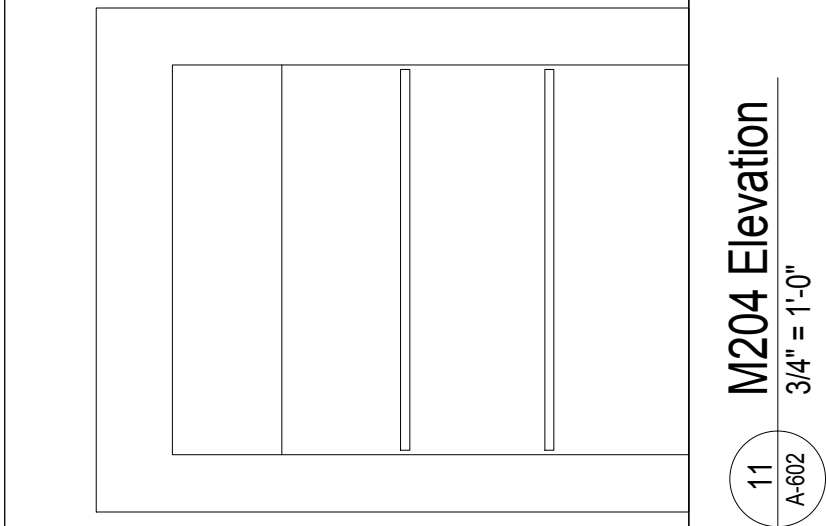
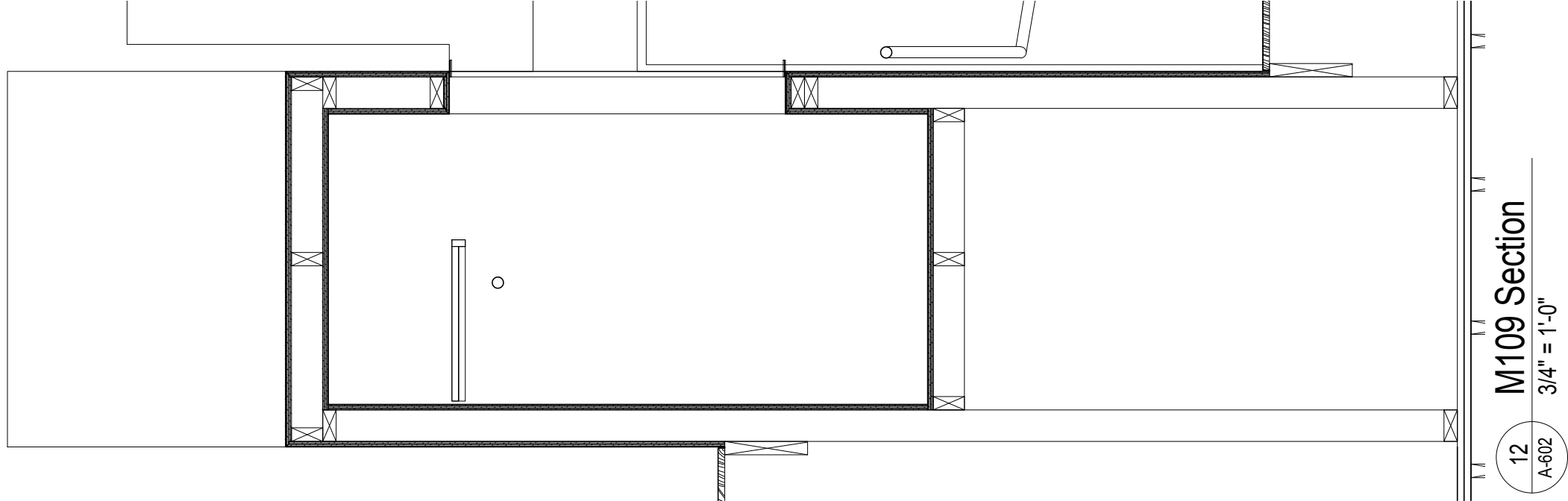


IAN MINOZ + SOPHIE RIESE, OWNERS		DATE
GALÉN PARDEL, DESIGNER		DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>		
PROJECT:		
LEADVILLE HOUSE ADDITION		
139 East 9th Street Leadville, CO 80461		
STORAGE DETAILS, SHELVING DETAILS		
SEAL & SIGNATURE		DATE: 01/10/22
		PROJECT No.: 2015
		DRAWING BY:
		CHECKED BY: GP
		DRAWING NUMBER:
		A-601.00
		CAD FILE No.: PAGE : OF 78

[illegible]

NOT FOR
CONSTRUCTION

IAN MINOZ + SOPHIE RIESE, OWNERS	DATE
	DATE
GALEN PARDE, DESIGNER	DATE
<p>© Drawing Agency, 2022. All rights reserved. The above drawings, designs and ideas embodied therein are the property of Drawing Agency LLC, and shall not be copied, reproduced, disclosed to others or used in connection with any Work other than the specified project for which they have been prepared, in whole or in part, without the prior written authorization of Drawing Agency LLC.</p>	
PROJECT:	
<h1>LEADVILLE HOUSE ADDITION</h1>	
<h2>139 East 9th Street Leadville, CO 80461</h2>	
<h3>SHELVING MILLWORK DETAILS</h3>	
SEAL & SIGNATURE	DATE: 01/10/22 PROJECT No.: 2015 DRAWING BY: CHECKED BY: GP DRAWING NUMBER: <h1>A-602.00</h1>
	OAD FILE No.: PAGE : OF



City of Leadville
800 Harrison Ave
Leadville CO 80461

719-486-1365 Court

Receipt No: 10.000106

Mar 4, 2022

Ian Munoz

Licenses and Permits - COA 139 E 9th St	125.00
01-300-3280 Other Zoning Application Fees	

Total:	125.00
--------	--------

Credit Card	125.00
-------------	--------

Payor: Ian Munoz

Total Applied:	125.00
----------------	--------

Change Tendered:	.00
------------------	-----

03/04/2022 2:29 PM

Name	Ian Munoz
Address	100 VANDERBILT AVE BROOKLYN , NY 11205

Purchase Info

miscellaneous			
Contact info	fee/service type and department	name	Item Description Amount
ian@ianmunoz.com	HPC application fee	Ian Munoz	miscellaneous \$125.00

Totals Info

Total Item Amount	\$125.00
Fee Amount	\$3.58
Total Order Amount	\$128.58

Notice is hereby given to consider a proposed Certificate of Appropriateness submitted by Ian A. Munoz and Sophie O. Riese, JT for the building located at 139 East 9th Street, Leadville, Colorado. Legal description of the property is: MIDDLE 33' 811, 813, 815, 817, 819 POPLAR STREET BLK 19, COOPER ADDITION. The proposed Certificate of Appropriateness will be considered by the Historic Preservation Commission at a public meeting at 4:00 p.m. on Tuesday, March 22nd, 2022. The Historic Preservation Commission will make a recommendation to Leadville City Council. Leadville City Council will consider the matter at a **public hearing** at the City Council meeting on Tuesday, April 5th, 2022 at 6:00pm.

Zoning of the property is in the Transitional Commercial (TC) District and it is located within the Leadville National Historic Landmark District. All interested parties are urged to attend. All written comments, other than those presented at the public hearing, must be received at City Hall, 800 Harrison Avenue, Leadville, Colorado, 80461 by mail or personal delivery by 3:00 p.m. Monday, April 4th, 2022.

This public notice given by order of Lori Tye, Administrative Assistant, City of Leadville submitted on March 18th, 2022 and published in the Herald Democrat on March 24th, 2022.

The City of Leadville complies with the American with Disabilities Act ("ADA") and thus requests 24-hour prior notice to make reasonable accommodations at any City meeting or hearing for any individual with a disability covered by the ADA.

[About Us](#)[News](#)[Our Programs](#)[Advocacy](#)[Resources](#)[Membership](#)[Donate](#)

Whether you are a community looking to adopt a local preservation ordinance or an established historic preservation commission seeking technical assistance, National Alliance of Preservation Commissions can help.

Shop at AmazonSmile
and Amazon will make
a donation to:

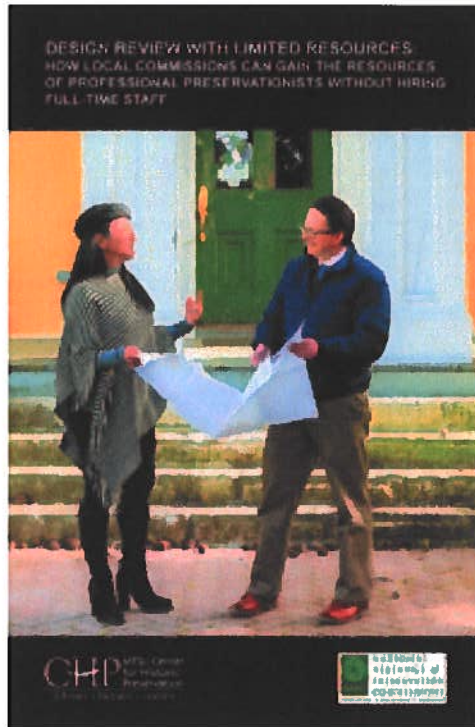


NAPC

- **Online Design Guidelines:** Looking for examples of design guidelines for your community? Our online design guidelines collection is organized by state for easy searching.
- **Preservation Plans:** Visit this page to learn more about preservation planning and to see examples of preservation plans from around the country.
- **Technical Assistance:** On this page you'll find a small sampling of articles and resources to help commission members and staff do their jobs better. NAPC members enjoy access to our full technical assistance library.

- **NAPC-L:** By joining NAPC, you receive access to NAPC-L, our member discussion group, which is the ideal forum for the exchange of ideas and advice on all issues related to preservation commissions.
- **Professional Network Directory:** Here you will find a detailed list of professional preservation services from across the country, including consultants, architects, educators, and attorneys.
- **The Secretary of the Interior's Standards for the Treatment of Historic Properties:** The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings.
- **Guidelines on Flood Adaptation for Rehabilitating Historic Buildings:** These guidelines should be used in conjunction with the Guidelines for Rehabilitating Historic Buildings that are part of The Secretary of the Interior's Standards for the Treatment of Historic Properties. Like the Guidelines for Rehabilitating Historic Buildings, these guidelines are intended to focus primarily on historic buildings and their site and setting.
- **Design Review with Limited Resources: How Local Commissions Can Gain the Resources of Professional Preservationists Without Hiring Full-Time Staff:** This booklet is intended for preservation commissions.

without any staff or with limited professional preservation staff, but also for local government staff members to act on behalf of a commission.



STEPHANIE PAUL,
EXECUTIVE DIRECTOR

Phone: 757-802-4141

Email:

director@napcommissions.org

ADDRESS

National Alliance of
Preservation
Commissions
P.O. Box 1011
Virginia Beach, VA
23451

The National Alliance
of Preservation
Commissions is a
private 501(c)(3)
nonprofit organization.
The NAPC's federal tax
identification number is
52-1577640.

[Privacy Policy](#)



NATIONAL ALLIANCE *of* PRESERVATION COMMISSIONS

education + advocacy + training

[About Us](#)[News](#)[Our Programs](#)[Advocacy](#)[Resources](#)[Membership](#)[Donate](#)

As a member of the National Alliance of Preservation Commissions, you become part of a national network of historic preservation commissions, boards of architectural review, municipal staff, local and state preservation nonprofits, and everyday residents of historic districts who value their historic resources.

[**LOG IN**](#)[**BECOME A MEMBER**](#)[**RENEW MEMBERSHIP**](#)

The NAPC network provides support, resources, and assistance from other commissions and members. You will benefit from the ideas and experiences of local communities throughout the United States working to protect historic districts and landmarks through local legislation.

Learn more about member benefits.

— Membership for Communities and Organizations

Membership at these levels includes all commission members and staff. Please email a complete list with each name, mailing address, e-mail, and phone number to director@napcommissions.org.

- \$50
 - Commissions: Municipal/county population less than 5,000
 - Local nonprofit organizations
- \$100
 - Commissions: Municipal/county population of 5,000 to 50,000
 - Regional or state wide nonprofit organizations
- \$150
 - Commissions: Municipal/county population greater than 50,000
 - State Historic Preservation Offices
 - Federal Agencies
 - National Nonprofit Organizations

+ Membership for Individuals

+ Professional Network

+ Premium Memberships

If you prefer to mail in your membership, download either the new member form or the membership renewal form.

Membership Benefits

- *The Alliance Review*, our quarterly publication filled with timely articles that cover the issues local commissions and staff are dealing with on the front lines.
- Access to NAPC-L, NAPC's discussion group that connects you to local preservation commission members, staff and others across the United States.
- Ongoing online training opportunities for members only or free or reduced cost webinar training opportunities.
- Early access to information about FORUM, NAPC's biennial conference for local preservation commissions and staff.
- Access to a resource library of technical information related to historic preservation commissions.
- A voice for your commission in Washington, DC, with our national partners.

STEPHANIE PAUL,
EXECUTIVE
DIRECTOR

Phone: 757-802-
4141

ADDRESS

National Alliance of
Preservation
Commissions
P.O. Box 1011

The National
Alliance of
Preservation
Commissions is a
private 501(c)(3)
nonprofit

[About Us](#)[News](#)[Our Programs](#)[Advocacy](#)[Resources](#)[Membership](#)[Donate](#)

Shop at AmazonSmile
and Amazon will make
a donation to:



NAPC

The Commission Assistance and Mentoring Program (CAMP®) is the signature training offered by the National Alliance of Preservation Commissions (NAPC). CAMP® is led by qualified preservation professionals in support of NAPC's mission to build strong local preservation programs through education, advocacy, and training.

The goal of CAMP® is to provide high-quality, engaging and informative training to preservation related boards and commissions of all types through presentations, hands-on exercises, group discussions, networking and mentoring via live training. NAPC has an exceptional team of **CAMP Trainers** including commissioners, local, state and

national staff members, attorneys, consultants and commission partners. Due to COVID-19 restrictions, NAPC is offering exclusively virtual CAMPs with hopes to return to the on-site format very soon!

Browse the **CAMP Menu** for more details on the curriculum and **contact us** to discuss pricing and customization for your community.

NAPC is pleased to introduce **CAMP Resilience®**, a new CAMP curriculum designed to strengthen local community response and resiliency to preserve cultural resources in the face of natural disasters. This brand new content is now part of NAPC's regular CAMP offerings.

Are you interested in becoming a CAMP Trainer?

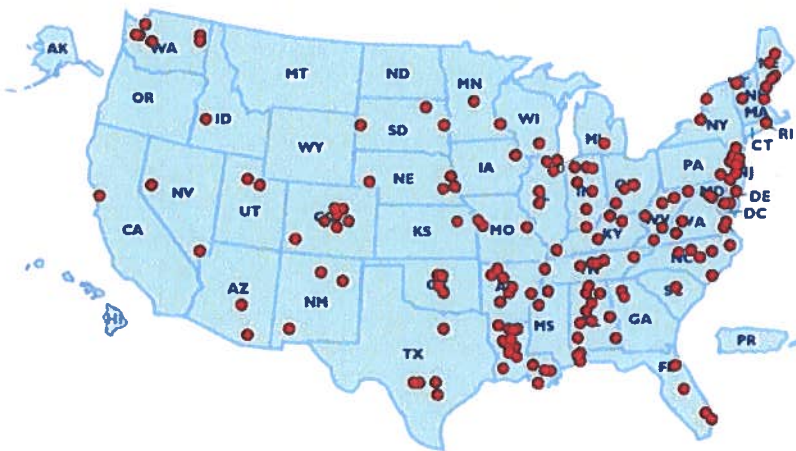
Submit an application today!

— 2021 CAMPs®

- Decatur, Huntsville, & Tuscumbia, AL – 1/11 & 1/15/2021
- Little Falls & St. Cloud, MN – 1/28 & 1/29/2021
- Arkansas Statewide – 2/8 & 2/9/2021
- Louisiana Statewide – 2/24 & 2/25/2021
- South Carolina Statewide – 3/2 & 3/4/2021
- New York Statewide – 3/29 & 3/31/2021
- Frederick, MD – 4/29/2021
- Alexandria, VA – 5/14 & 5/20/2021
- Michigan (MHPN Annual Statewide Preservation Conference) – 5/15/2021

- Las Vegas, NV – April 1, 2016
- Savannah, TN – April 8, 2016
- Saline, MO – April 21-22, 2016
- Indiana Statewide Conference, Vincennes, IN – April 28, 2016
- Cincinnati, OH – May 20, 2016
- Main Street Now Conference, Milwaukee, WI – May 22, 2016
- Brookings, SD – August 11-12, 2016
- Maine – September 23, 2016
- Hawaii – October 24, 26, & 28, 2016
- Cape Charles, VA
- Short Course, PastForward Conference, Houston, TX – November 16, 2016

+ 2015 CAMPs®



CAMPs® 2001 – Present

[/fusion_builder_row][/fusion_builder_container]



NATIONAL ALLIANCE *of* PRESERVATION COMMISSIONS

education + advocacy + training

About Us

News

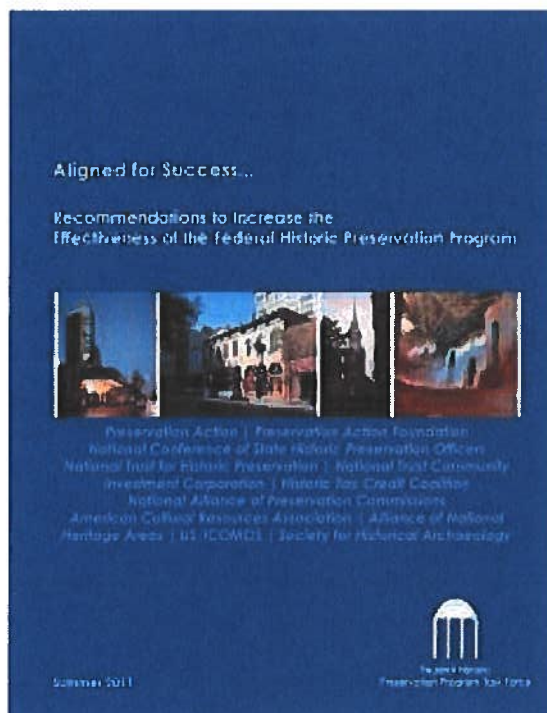
Our Programs

Advocacy

Resources

Membership

Donate



In 2010, NAPC joined the Federal Historic Preservation Program Task Force, which produced a detailed report on recommendations for improvements to increase the effectiveness of the Federal Historic Preservation Program.

Government program to help commissions receive

In the early 1980s there were thousands of commissions who were dealing with development pressures in historic areas, and new amendments to the National Historic Preservation Act in 1980 created the Certified Local

Shop at AmazonSmile
and Amazon will make
a donation to:



NAPC

federal financial assistance to advanced local preservation efforts.

What was clearly absent was a forum for the discussion of mutual problems and a national voice representing the particular needs of commissions. The National Alliance of Preservation Commissions was founded in 1983 to meet these goals.

Commission interests were soon represented at countless meetings of the National Park Service (NPS), the National Trust for Historic Preservation (NTHP), and the National Conference of State Historic Preservation Officers (NCSHPO), as well as on Capitol Hill at budget and other Congressional hearings and meetings about the national preservation programs. NAPC also had an active role in various lawsuits and legislation regarding preservation issues.

Today NAPC remains a strong advocate for local historic preservation commissions, relying on its established relationships with our national partners to help local preservation programs succeed and thrive. When applicable, NAPC can also provide letters of support for our member commissions when faced with challenging issues.